



LOCUS PLAN
SCALE:1"=250'±

SHEET NUMBER	SHEET DESCRIPTION
C001.0	COVER SHEET
C002.0	ALTA/NSPS LAND TITLE SURVEY
C003.0	DEMOLITION PLAN
C004.0	SITE PLAN
C005.0	GRADING & DRAINAGE PLAN
C006.0	EROSION & SEDIMENTATION CONTROL PLAN
C007.0	UTILITY PLAN
C007.1	ONSITE SEPTIC
C007.2	ONSITE SEPTIC
C008.0	LANDSCAPE PLAN
C009.0	CONSTRUCTION DETAILS
C009.1	CONSTRUCTION DETAILS
C009.2	CONSTRUCTION DETAILS
C009.3	CONSTRUCTION DETAILS
C009.4	CONSTRUCTION DETAILS
C009.5	CONSTRUCTION DETAILS
C009.6	CONSTRUCTION DETAILS
C010.0	LIGHTING PROPOSAL
C010.1	FIXTURE SPECIFICATION SHEET
C014.0A	UST COVER SHEET
C014.0B	TANK & PIPING PLAN
C014.1	MATERIAL LIST
C014.2	TANK INSTALLATION DETAILS
C014.3	TANK INSTALLATION DETAILS
C014.4	SUMP & PIPING DETAILS
C014.5	TANK INSTALLATION DETAILS
C014.6	ELECTRICAL DETAILS
C014.6A	DISPENSER SUMP DETAILS
C014.7	TANK INSTALLATION DETAILS
C014.8	DISP./LEAK DETECT.WIRING
C016.0	DOT SITE PLAN
A-001	PYLON SIGNAGE

CONSULTANTS:

SURVEY:
ODONE SURVEY & MAPPING, P.C.
291 MAIN STREET, SUITE 5
NORTHBOROUGH, MA 01532
508-351-6022
CONTACT: GLENN ODONE, P.L.S.

ARCHITECT:
HFA ALLEVATO ARCHITECTS INC.
31 HAYWARD STREET
FRANKLIN, MA 02038
508-528-0770
CONTACT: HAILEY WEBER

TRAFFIC ENGINEER:
MCMAHON ASSOCIATES
300 MYLES STANDISH BOULEVARD
TAUNTON, MA 02780
508-823-2245
CONTACT: JASON ADAMS, P.E.

EXTERIOR LIGHTING DESIGN:
RED LEONARD ASSOCIATES
5630 BRIDGETOWN ROAD, SUITE 2
CINCINNATI, OH 45248
513-574-9500

FIRE SUPPRESSION DESIGNER:
BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508-480-9900
CONTACT: WILLIAM GOEBEL, P.E.

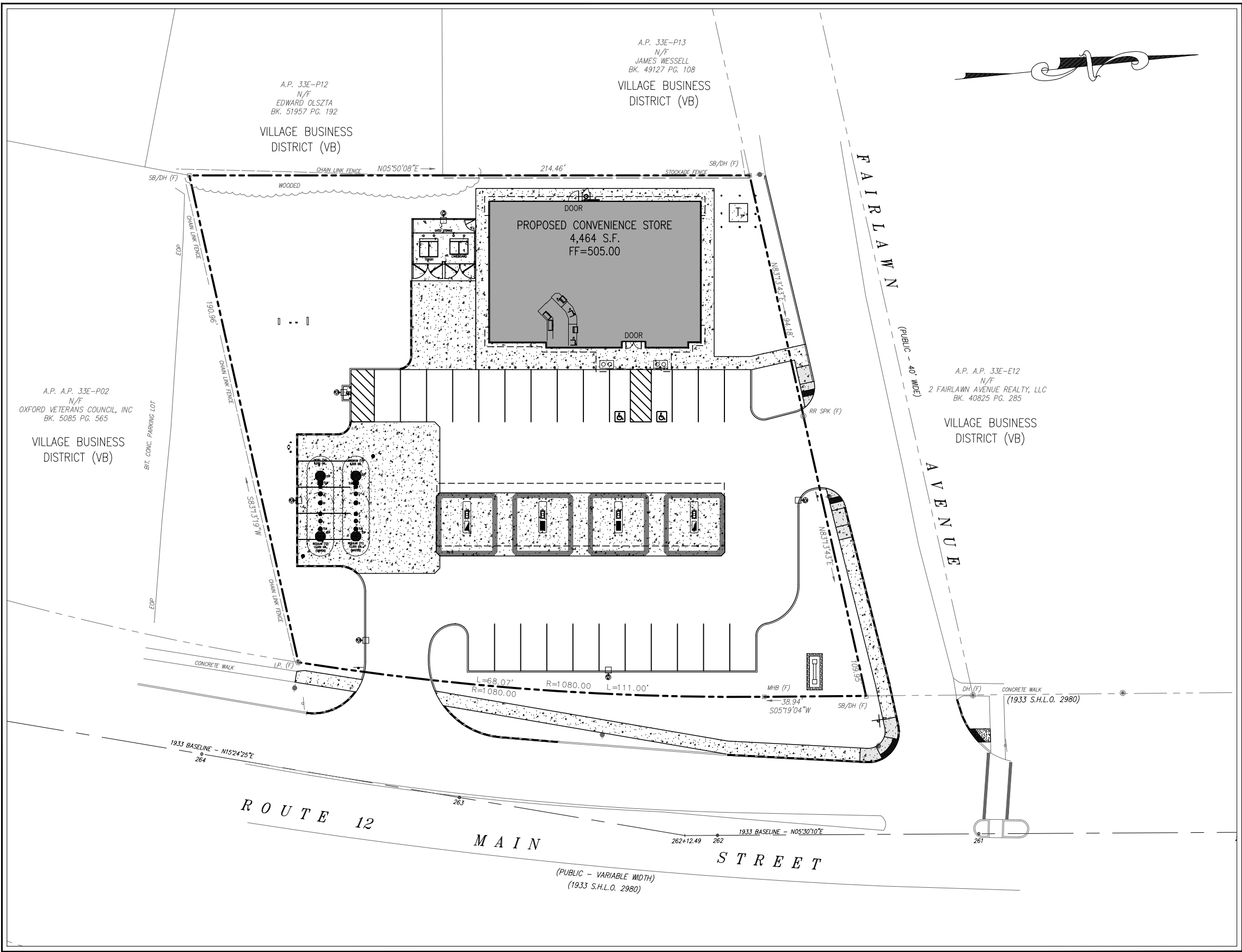
SITE PLAN SET

FOR



STORE # 3471, ORACLE # MA0617

235 MAIN STREET & 5 FAIRLAWN AVENUE
OXFORD, MA 01540



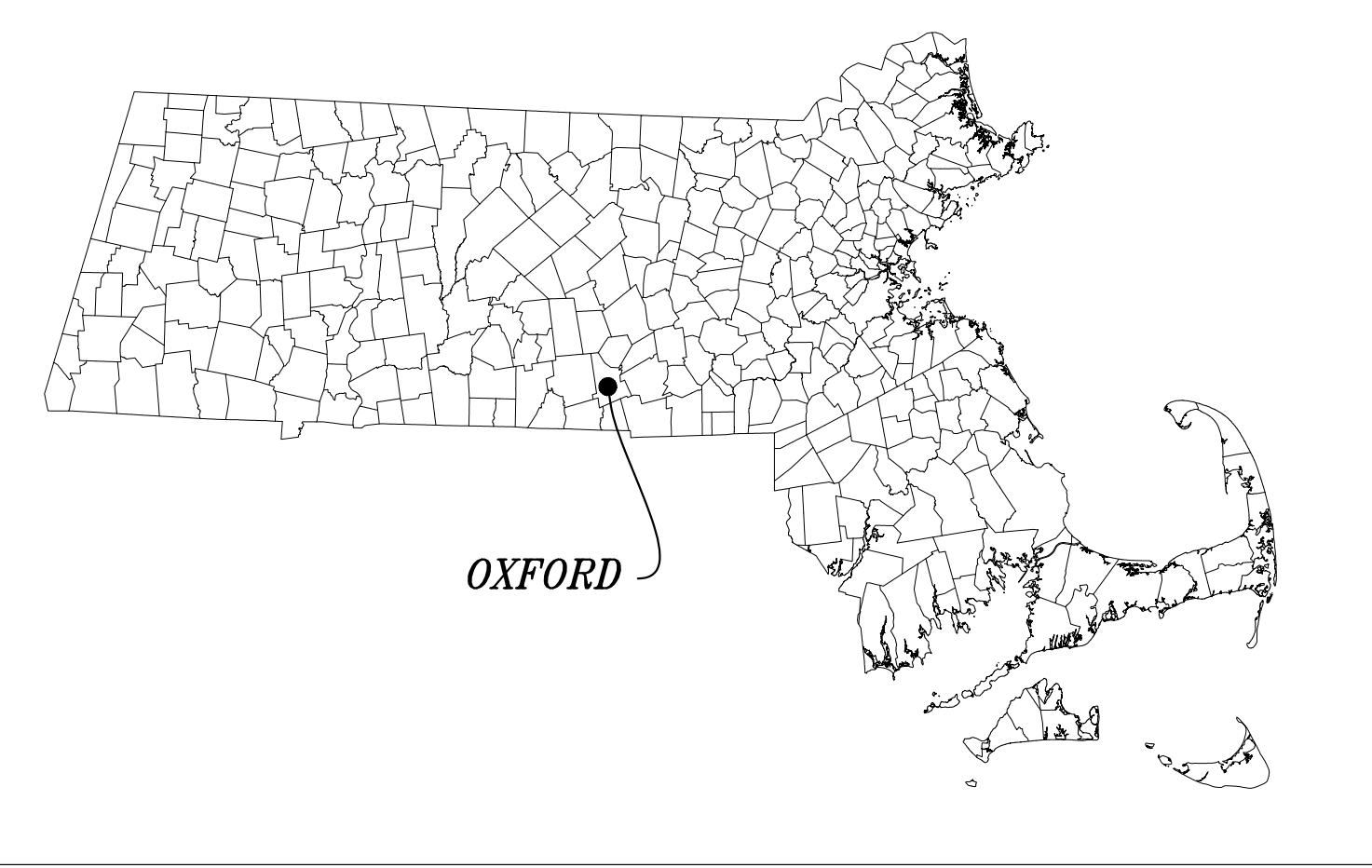
OVERALL LAYOUT PLAN
SCALE: 1"=50'

MUNICIPALITY CONTACTS:

DEPARTMENT	CONTACT	PHONE NUMBER	ADDRESS
TOWN MANAGER	JENNIFER CALLAHAN	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
ZONING BOARD	MARY HERRIAGE	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
PUBLIC WORKS	JARED DUVAL, P.E.	508-987-6006	450 MAIN STREET, OXFORD, MA 01540
ASSESSOR	ALEXANDER SENDZIK	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
FIRE	CHIEF McDONALD	508-987-6012	181 MAIN STREET, OXFORD, MA 01540
HEALTH	RIKE STERETT	508-987-6045	325 MAIN STREET, OXFORD, MA 01540
PLANNING	TONY SOUSA	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
POLICE	CHIEF SAAD	508-987-0156	503 MAIN STREET, OXFORD, MA 01540
TOWN CLERK	MICHELLE JENKINS	508-987-6032	325 MAIN STREET, OXFORD, MA 01540
CONSERVATION DEPT.	JUDY LOCHNER	508-987-6044	325 MAIN STREET, OXFORD, MA 01540
BUILDING DEPARTMENT	PATRICK DAHLGREN	508-987-6038	325 MAIN STREET, OXFORD, MA 01540

APPROVED BY THE
TOWN OF OXFORD
PLANNING BOARD

DATE SITE PLAN ENDORSED: _____



MUNICIPALITY LOCATION MAP
N.T.S.

PREPARED BY:

CIVIL DESIGN
GROUP, LLC

21 HIGH STREET SUITE 207
NORTH ANDOVER, MA 01845
www.cdgengineering.com
p: 978-794-5400
f: 978-965-3935
CONTACT: PHILIP HENRY, P.E.

PREPARED FOR:

EG AMERICA
165 FLANDERS ROAD
WESTBOROUGH, MA 01581

PROPERTY:
235 MAIN STREET & 5 FAIRLAWN AVENUE
OXFORD, MA 01540

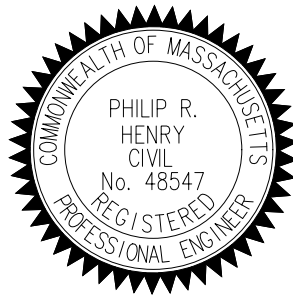
OWNER(S) OF RECORD:
235 MAIN STREET (MAP 33E, LOT P01)
V.S.H. REALTY, INC.
165 FLANDERS ROAD
WESTBOROUGH, MA 01581

5 FAIRLAWN AVE (MAP 33E, LOT P14)
233 MAIN STREET, LLC
PAMELA A. MASSAD
370 MAIN STREET
WORCESTER, MA

NOT FOR CONSTRUCTION

ISSUED TO:
90% PLANS

SEAL:



PHILIP R. HENRY, P.E.

SHEET:

COVER SHEET

C001.0

CDG PROJECT #: 21033

RECORD DESCRIPTION

TRACT I (5 FAIRLAWN AVENUE);

ALL THAT CERTAIN PIECE OF LAND SITUATED IN THE TOWN OF OXFORD, COUNTY OF WORCESTER, STATE OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIPE SET IN THE WESTERLY SIDE OF SOUTH MAIN STREET AT THE NORTHERLY CORNER OF LAND NOW OR FORMERLY OF THE TOWN OF OXFORD AND EXTENDING;

THENCE (1) BOUNDING SOUTHERLY ON SAID LAND NOW OR FORMERLY OF THE TOWN OF OXFORD SOUTH 83° 08' 34" WEST 190.52 FEET TO A STONE POST;

THENCE (2) BOUNDING WESTERLY IN PART ON LAND NOW OR FORMERLY OF VOLKERT R. SMITH AND IN PART ON LAND NOW OR FORMERLY OF ROBERT E. AND HELENA L. LAROSE, NORTH 05° 43' 04" EAST 214.38 FEET TO A STONE POST SET IN THE SOUTHERLY SIDE OF FAIRLAWN AVENUE;

THENCE (3) BOUNDING NORTHERLY ON SAID SOUTHERLY SIDE OF FAIRLAWN AVENUE 83° 08' 34" EAST 94.19 FEET TO A POINT;

THENCE (4) BOUNDING EASTERLY ON LAND OF OR FORMERLY OF THE ATLANTIC REFINING COMPANY SOUTH 04° 25' 04" WEST 122 FEET TO A POINT;

THENCE (5) BOUNDING NORTHERLY ON SAID OTHER LAND OF OR FORMERLY OF THE ATLANTIC REFINING COMPANY SOUTH 82° 02' 28" EAST 100 FEET TO A POINT IN SAID WESTERLY SIDE OF SOUTH MAIN STREET;

THENCE (6) BOUNDING EASTERLY ON SAID WESTERLY SIDE OF SOUTH MAIN STREET RUNNING SOUTHERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 1020 FEET THE ARC DISTANCE 68.08 FEET (THE CHORD OF SAID ARC BEARING SOUTH 13° 01' 25" WEST 68.07 FEET) TO THE POINT OF BEGINNING.

TRACT II (235 MAIN ALSO KNOWN AS 233 MAIN STREET);

ALL THAT CERTAIN PIECE OR PARCEL OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN THE TOWN OF OXFORD, COUNTY OF WORCESTER, STATE OF MASSACHUSETTS, PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERLY SIDE OF FAIRLAWN AVENUE 40 FEET WIDE AND THE WESTERLY SIDE OF SOUTH MAIN STREET AND EXTENDING THENCE (1) BOUNDING EASTERLY ON SAID WESTERLY SIDE OF SOUTH MAIN STREET SOUTH 5 DEGREES 19 MINUTES 4 SECONDS WEST 38.73 FEET TO A POINT OF CURVATURE; THENCE (2) STILL BOUNDING EASTERLY ON SAID WESTERLY SIDE OF SOUTH MAIN STREET AND RUNNING SOUTHERLY ALONG SAID CURVE TO THE RIGHT WITH A RADIUS OF 1080 FEET THE ARC DISTANCE OF 111.21 FEET (THE CHORD OF SAID ARC BEARING SOUTH 8 DEGREES 16 MINUTES 04 SECONDS WEST 111.16 FEET TO A POINT; THENCE (3) BOUNDING SOUTHERLY ON LAND NOW OR FORMERLY OF NESTA'S REALTY, INC. NORTH 82 DEGREES 02 MINUTES 26 MINUTES WEST 100.00 FEET TO A POINT; THENCE (4) BOUNDING WESTERLY ON SAID LAND NOW OR FORMERLY OF NESTA'S REALTY, INC. NORTH 4 DEGREES 25 MINUTES 04 SECONDS EAST 122.00 FEET TO A POINT IN THE SOUTHERLY SIDE OF FAIRLAWN AVENUE; THENCE (5) BOUNDING NORTHERLY ON THE SOUTHERLY SIDE OF FAIRLAWN AVENUE NORTH 83 DEGREES 08 MINUTES 34 SECONDS EAST 110.00 FEET TO THE POINT AND PLACE OF BEGINNING.

AS-SURVEYED DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN THE TOWN OF OXFORD, COUNTY OF WORCESTER, STATE OF MASSACHUSETTS, PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE INTERSECTION OF THE SOUTHERLY SIDE OF FAIRLAWN AVENUE AND THE WESTERLY SIDE OF SOUTH MAIN STREET, THENCE, ALONG THE WESTERLY SIDE OF SOUTH MAIN STREET S.05°19'04"W., A DISTANCE OF 39.94 FEET TO A POINT. THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1,080.00 FEET AND A ARC A DISTANCE OF 111.00 FEET; THENCE CONTINUE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 68.07 FEET; THENCE S.83°13'19"W., A DISTANCE OF 190.96 FEET; THENCE N.05°50'08"E., A DISTANCE OF 214.46 FEET TO A POINT IN THE SOUTHERLY SIDE OF FAIRLAWN AVENUE; THENCE N.83°13'43"E., A DISTANCE OF 94.19 FEET; THENCE CONTINUING EASTERLY ALONG SAID LINE, A DISTANCE OF 109.95 FEET TO THE POINT OF BEGINNING. CONTAINING 42,072 SQUARE FEET OR 0.966 ACRES, MORE OR LESS.

THE PROPERTY DESCRIBED ABOVE IS THE SAME PROPERTY AS DESCRIBED IN COMMITMENT FOR TITLE INSURANCE NO. NCS-1114845-HOU1 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF FEBRUARY 23, 2022 AS TO TRACT I; MARCH 01, 2022 AS TO TRACT II

PROPERTY INFORMATION:

CURRENT OWNER OF RECORD:

TRACT I: 233 MAIN STREET, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY
SITE ADDRESS: 5 FAIRLAWN AVENUE, OXFORD, MA (WORCESTER COUNTY)
ASSESSORS PARCEL: 33E-P14
DEED REFERENCE: BOOK 54227, PAGE 175

TRACT II: V.S.H. REALTY, INC., AKIA CUMBERLAND FARMS, INC.
SITE ADDRESS: 235 MAIN STREET, OXFORD, MA (WORCESTER COUNTY)
ASSESSORS PARCEL: 33E-P01
DEED REFERENCE: BOOK 5639, PAGE 93. SEE ALSO MERGER: BOOK 9077, PAGE 383.

ZONING DISTRICT: VILLAGE BUSINESS DISTRICT (VB)

TOTAL LAND AREA = 42,072 SQ. FT. 0.996 ACRES

ITEMS CORRESPONDING TO SCHEDULE B-II

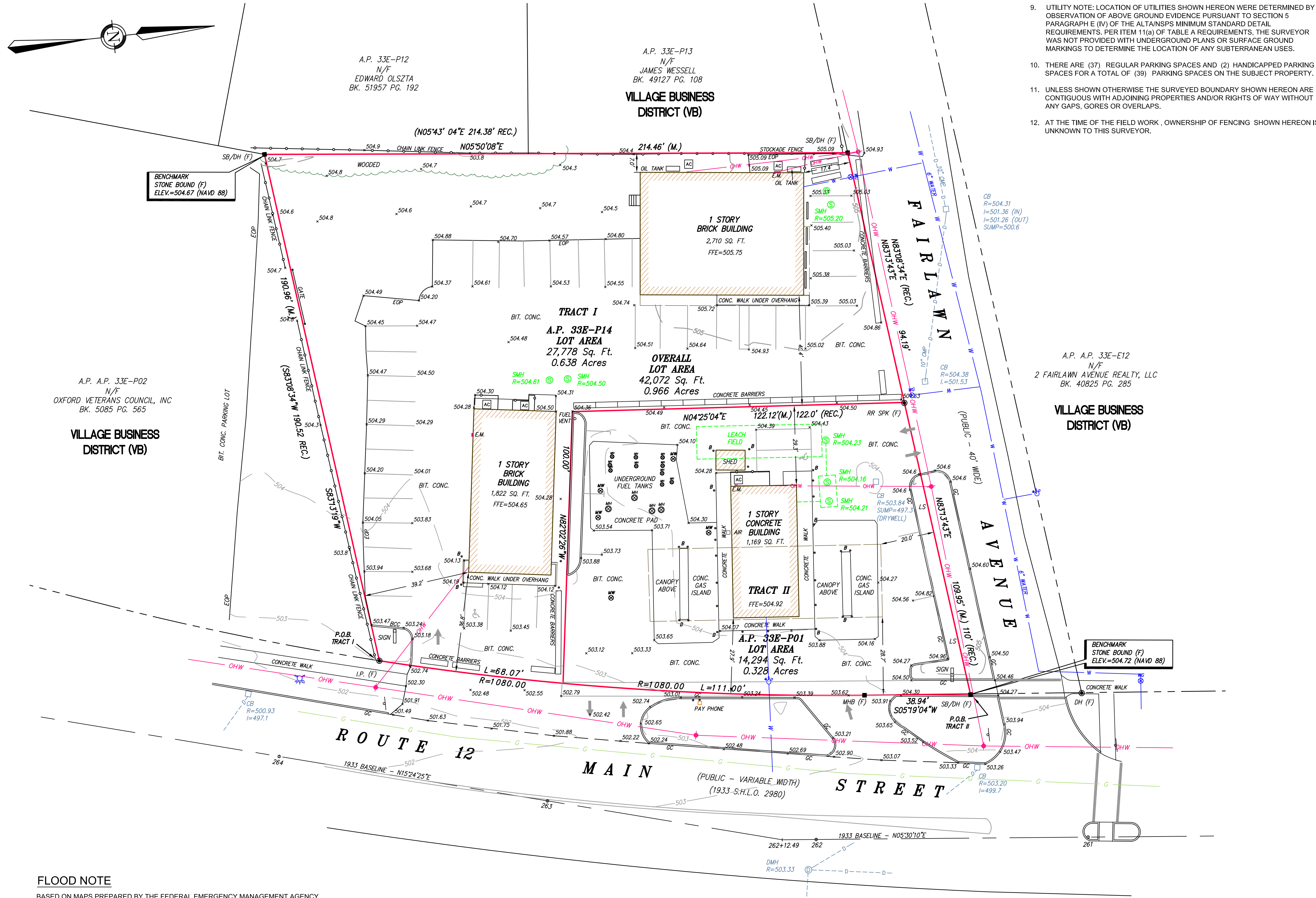
EXCEPTIONS FROM COVERAGE, SCHEDULE B-SECTION 2, COMMITMENT FOR TITLE INSURANCE NO. NCS-1114845-HOU1 ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF FEBRUARY 23, 2022 AS TO TRACT I; MARCH 01, 2022 AS TO TRACT II

NOTE: EXCEPTION ITEMS NOT LISTED BELOW ARE STANDARD TITLE EXCEPTIONS AND/OR ARE NOT MATTERS OR ISSUES THAT PERTAIN TO THIS SURVEY.

10. TAKING FOR LAYOUT OF MAIN STREET AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS DATED OCTOBER 17, 2012, RECORDED IN BOOK 49948, PAGE 215 (DOES NOT AFFECT TRACTS I AND II - DOCUMENT REFERS TO LAND THAT IS NOT LOCUS)

11. RESTRICTIONS OR CONDITIONS SET FORTH IN DEED FROM ATLANTIC RICHFIELD COMPANY TO V.S.H. REALTY, INC. DATED NOVEMBER 14, 1974 RECORDED IN BOOK 5639, PAGE 93 (AFFECTS TRACT II). (NONE NOTED)

12. MORTGAGE, ASSIGNMENT OF LEASES AND RENTS AND SECURITY AGREEMENT FROM CUMBERLAND FARMS, INC. TO TRANSAMERICA BUSINESS CREDIT CORPORATION DATED JUNE 14, 1996, RECORDED IN BOOK 18028, PAGE 52, AS MODIFIED BY MODIFICATION AND ASSIGNMENT OF MORTGAGE DATED MAY 30, 2002, RECORDED IN BOOK 29234, PAGE 125 (AFFECTS TRACT II). (NON-SURVEY RELATED AND CANNOT BE PLOTTED)



FLOOD NOTE

BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.MSC.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS LOCATED IN ZONE X ON FLOOD INSURANCE RATE MAP NUMBER 25027C0976E, WHICH BEARS AN EFFECTIVE DATE OF 07/04/2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THE ACCURACY OF THE MAPS AND/OR TO APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

GENERAL NOTES:

- THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY ODONE SURVEY & MAPPING ON FEBRUARY 24, 2022. SURVEY BY TRIMBLE S6 TOTAL STATION.
- BASIS OF BEARINGS: 1933 S.H.L.O 2980
- THE VERTICAL POSITIONS SHOWN ON THIS PLAN ARE BASED ON KEYNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGSS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
- PROPERTY HAS DIRECT ACCESS TO FAIRLAWN AVENUE AND MAIN STREET, BOTH DESIGNATED PUBLIC WAYS. THERE ARE NO PROPERTY LINES LOCATED WITHIN THE BOUNDS OF SAID STREETS.
- TABLE A (ITEM 16): THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- TABLE A (ITEM 17): THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, ACCORDING TO THE TOWN OF BURLINGTON. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO EVIDENCE WAS OBSERVED OF CEMETERIES, GRAVESITES OR BURIAL GROUNDS, LOCATED ON THE SUBJECT PREMISES.
- NO OBSERVABLE EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE.
- UTILITY NOTE: LOCATION OF UTILITIES SHOWN HEREON WERE DETERMINED BY OBSERVATION OF ABOVE GROUND EVIDENCE PURSUANT TO SECTION 5 PARAGRAPH E (IV) OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS. PER ITEM 11(a) OF TABLE A REQUIREMENTS, THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.
- THERE ARE (37) REGULAR PARKING SPACES AND (2) HANDICAPPED PARKING SPACES FOR A TOTAL OF (39) PARKING SPACES ON THE SUBJECT PROPERTY.
- UNLESS SHOWN OTHERWISE THE SURVEYED BOUNDARY SHOWN HEREON ARE CONTIGUOUS WITH ADJOINING PROPERTIES AND/OR RIGHTS OF WAY WITHOUT ANY GAPS, GORES OR OVERLAPS.
- AT THE TIME OF THE FIELD WORK, OWNERSHIP OF FENCING SHOWN HEREON IS UNKNOWN TO THIS SURVEYOR.

REVISIONS:

REV	DATE	COMMENT
1	3/22/22	DRAFT ISSUE
2	6/30/22	COMMENTS
3		
4		
5		

PREPARED BY:



ODONE SURVEY & MAPPING

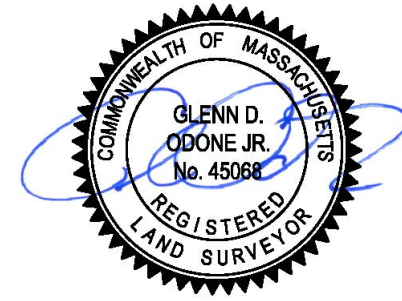
SURVEYING ~ MAPPING ~ PLANNING & CONSULTING

291 Main Street, Suite 5
Northborough, MA 01532
Tel.: 508-351-6022 Fax: 508-351-6633

SURVEYOR'S CERTIFICATION

TO: CUMBERLAND FARMS INC., AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS. JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON FEBRUARY 24, 2022.



GLENN D. ODNE, JR.
REGISTERED LAND SURVEYOR NO. 45068
COMMONWEALTH OF MASSACHUSETTS

PREPARED FOR:



165 FLANDERS ROAD
WESTBOROUGH, MA 01581

PROJECT LOCATION:

235 MAIN STREET
& 5 FAIRLAWN AVENUE
OXFORD, MA 01540

RAZE & REBUILD
STORE # STATION V#

CIVIL ENGINEER:

CIVIL DESIGN
GROUP, LLC

21 HIGH STREET, SUITE 207
NORTH ANDOVER, MA 01845
www.cdgenengineering.com
p: 978-794-5400 f: 978-914-6161

SHEET:

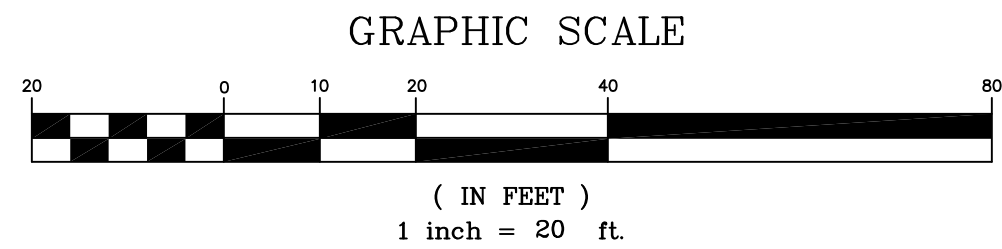
ALTA/NSPS LAND TITLE
SURVEY

C002.0

DATE: JUNE 30, 2022

DWG FILE: 1498-01A

PROJECT NO. 20221498



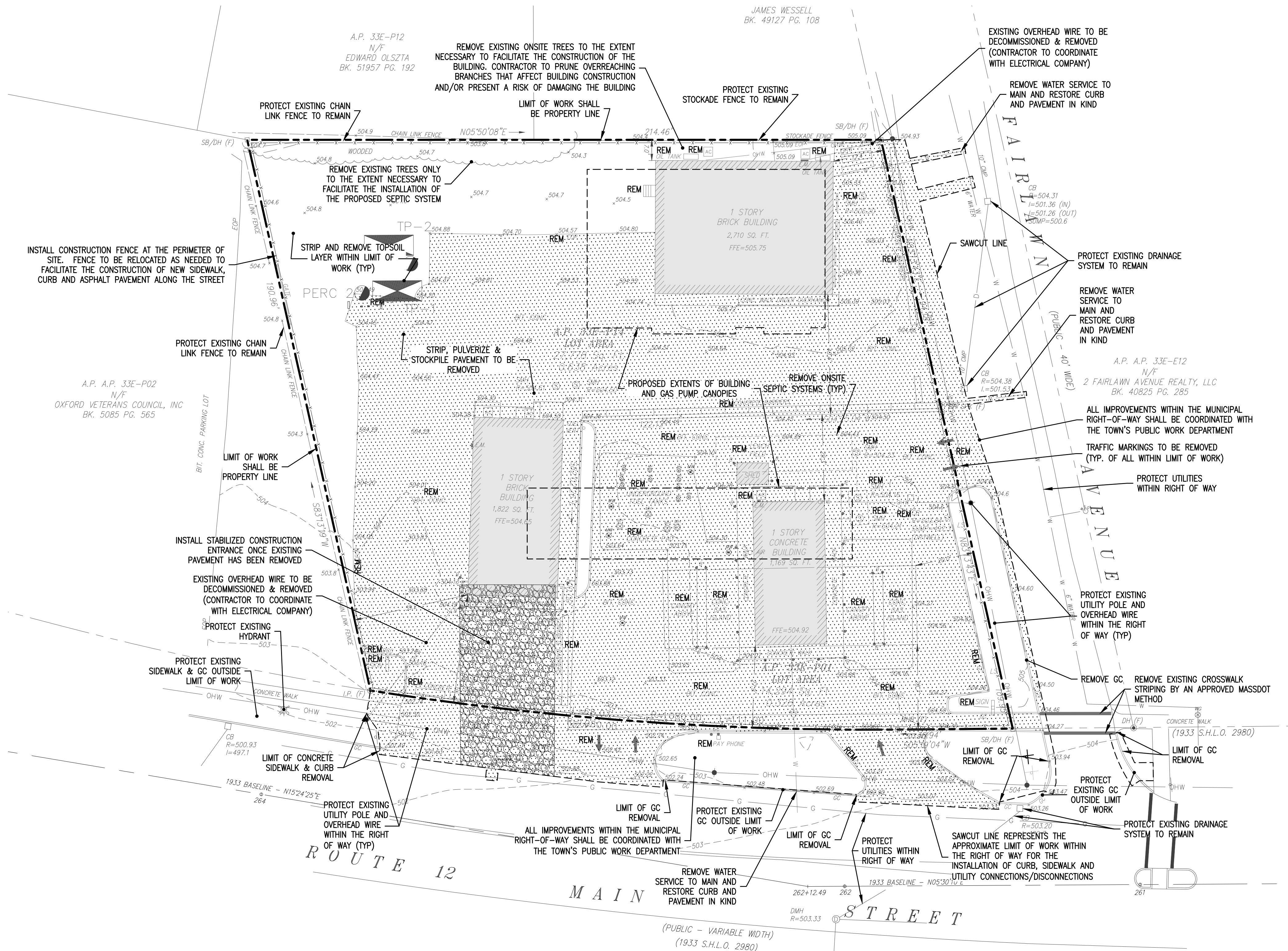
1. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY "DIG SAFE" (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
2. THIS PROJECT INCLUDES THE DEMOLITION OF ALL EXISTING ONSITE BUILDINGS, GAS PUMPS, CANOPIES, UTILITY CONNECTIONS, PAVEMENT AREAS, LANDSCAPE AREAS AND SEPTIC SYSTEMS.
3. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, SHEET C002.0" PREPARED BY ODONE SURVEY & MAPPING, DATED 06/30/2022.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
5. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE MUNICIPAL DEPARTMENTS INCLUDING THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO START OF WORK.
7. THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
8. ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
9. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
10. PEDESTRIAN AND VEHICULAR ACCESS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE KEPT IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
12. EXISTING WATER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN, UNLESS OTHERWISE SPECIFIED BY THE MUNICIPALITY.
13. THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
14. EXISTING ONSITE BITUMINOUS PAVEMENT SHALL BE STRIPPED, PULVERIZED AND REMOVED OFFSITE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS..
15. CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE AND SHALL BE PROPERLY MAINTAINED AND EMPTIED ON A REGULAR BASIS.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.
17. CONTRACTOR SHALL NOT STOCKPILE OR LOCATE DUMPSTERS WITHIN WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE.
18. REFER TO SHEET "C006.0" FOR EROSION & SEDIMENTATION CONTROL INFORMATION.
19. MEANS OF PROTECTING EXISTING MONITORING WELLS, IF APPLICABLE, SHALL BE COORDINATED WITH THE

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
①		DRAIN MANHOLE
□		CATCH BASIN
⊗		SEWER MANHOLE
D		DRAIN PIPE
G		GAS LINE
DHW		OVERHEAD WIRES
W		WATER LINE
S		SEWER LINE
HYDRANT		HYDRANT
SIGN		SIGN
SITE LIGHT		SITE LIGHT
UTILITY POLE		UTILITY POLE
INDEX CONTOUR		INDEX CONTOUR
MINOR CONTOUR		MINOR CONTOUR
TREE LINE		TREE LINE
CONCRETE SIDEWALK		CONCRETE SIDEWALK
BITUMINOUS CONCRETE SIDEWALK		BITUMINOUS CONCRETE SIDEWALK
IRON PIPE/IRON PIN		IRON PIPE/IRON PIN
MONITORING WELL		MONITORING WELL
SOIL BORING		SOIL BORING
CONSTRUCTION FENCE		CONSTRUCTION FENCE
EXISTING BUILDINGS & APPURTENANCES TO BE DEMOLISHED		EXISTING BUILDINGS & APPURTENANCES TO BE DEMOLISHED
PROPOSED BUILDING PAD & GAS PAD FOOTPRINT		PROPOSED BUILDING PAD & GAS PAD FOOTPRINT
PAVEMENT TO BE RECLAIMED (IF SUITABLE)		PAVEMENT TO BE RECLAIMED (IF SUITABLE)
STABILIZED CONSTRUCTION ENTRANCE		STABILIZED CONSTRUCTION ENTRANCE

GENERAL ABBREVIATIONS	
ASSESSOR'S PARCEL	A.P.
BOTTOM OF CURB	BC
BITUMINOUS CONCRETE CURB	BCC
BITUMINOUS CONCRETE	BIT. CONC
BOTTOM OF WALL	BW
CATCH BASIN	CB
CHAIN LINK FENCE	C.L.F.
CLEANOUT	CO
CONCRETE SURFACE	CONC
DRILL HOLE FOUND	DH (F)
DRAIN MANHOLE	DMH
DOUBLE WALL FIBER GLASS	DWFG
DASHED WHITE LINE	DWL
DOUBLE YELLOW CENTERLINE	DYCL
EDGE OF PAVEMENT	EOP
EXTRUDED CONCRETE CURB	ECC
ELECTRIC HANDHOLE	EHH
FINISHED FLOOR ELEVATION	FF
FRONT YARD	FY
VERTICAL GRANITE CURB	GC/VGC
SLOPED GRANITE CURB	SGC
GAS METER	GM
HIGH DENSITY POLYETHYLENE PIPE	HDPE
INVERT ELEVATION	I=
LINEAL FEET	LF
LANDSCAPED AREA	LA
MONOLITHIC CONCRETE CURB	MCC
MATCH EXISTING	M
INVERT NOT AVAILABLE	N/A
NOW OR FORMERLY	N/F
ON CENTER	OC
PIV ELEVATION	R=
ROOF DRAIN	RD
REMOVE	REM
REAR YARD	RY
SEWER FORCE MAIN	SFM
SOLID WHITE EDGE LINE	SWEL
SOLID WHITE LINE	SWL
SIDE YARD	SY
TOP OF CURB	TC
TOP OF WALL	TW
UTILITY POLE	UP
VITRIFIED CLAY	VC
WATER GATE	WG
WATER SHUT-OFF	WSO

20. ALL LANDSCAPE DEBRIS SHALL BE TAKEN OFF-SITE AND DISPOSED OF AT AN APPROPRIATE SITE.

21. THE CONTRACTOR SHALL CONSULT WITH THE DEVELOPER/OWNER TO DETERMINE THE NEED FOR ANY PRE-CONSTRUCTION INSPECTIONS/SURVEYS (E.G. PRE-BLAST, PRE-SHORING) WITH ABUTTERS AND SHALL PERFORM ANY SUCH INSPECTION/SURVEYS AT THE OWNER'S DIRECTION.



(1933 S.H.L.O. 2980)

CDG PROJECT #: 21033

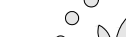
REVIEWS:		
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1	10/25/22	REVISED DRAINAGE
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
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8		
9		

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235 MAIN STREET & 5 FAIRLAWN AVE
OXFORD, MA 01540

RAZE & REBUILD / ADD LAND
ORACLE #MA0617

20 0 10 20 40
GRAPHIC SCALE IN FEET

DEMOLITION PLAN

C003.0

DATE: _____

09/06/2022

1. ZONING INFORMATION OBTAINED FROM THE TOWN OF OXFORD ZONING ORDINANCE AS AMENDED THROUGH MAY 5, 2021.
2. THE PROJECT SITE INCLUDES LOTS 1 & 14 ON MAP 33E OF THE TOWN OF OXFORD ASSESSOR'S MAPS AND TOTALS 0.9± ACRES.
3. THE PROJECT LIES WITHIN THE VILLAGE BUSINESS DISTRICT (VB) AND WITHIN THE ZONE II AQUIFER PROTECTION AREA.
4. MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
5. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
8. UST INSTALLATION SHALL COMPLY WITH OSHA POWER LINE SAFETY REQUIREMENT STANDARD 1926.1408 WITH REGARD TO EQUIPMENT CLEARANCE. UPON REVIEW, SPECIALTY EQUIPMENT MAY BE REQUIRED TO COMPLY.




1. THE BUILDING OUTLINE SHOWN ON THIS PLAN DEPICTS THE FINISH TO FINISH EXTENTS OF THE BUILDING. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR FOUNDATION PLANS FOR PURPOSES OF STAKING OUT THE BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND EXTERIOR FEATURES INCLUDING UTILITY METERS, BOLLARDS, DOORS, PILASTERS, RAMPS, ETC.
2. ALL LIMITS OF PAVEMENT SHALL BE CURBED, UNLESS OTHERWISE NOTED.
3. ALL ONSITE CURB SHALL BE SLOPED GRANITE, VERTICAL GRANITE AND MONOLITHIC CONCRETE AND OFFSITE CURB SHALL BE VERTICAL GRANITE, UNLESS OTHERWISE SPECIFIED. SLOPED GRANITE CURB SHALL MEET VERTICAL GRANITE CURB VIA A TRANSITIONAL CURB STONE INSTALLED FULLY WITHIN BITUMINOUS PAVEMENT LIMITS.
4. NON-ACCESSIBLE PARKING SPACE DIMENSIONS AS SHOWN ON THE PLAN ARE 10' WIDE X 20' LONG.
5. NON-ACCESSIBLE PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF PAINT (WHITE OR YELLOW, SEE PLAN) PER FEDERAL SPECIFICATION T1-P-115 TYPE 1; ALKYD.
6. PAVEMENT LETTERS SHALL BE 2' WIDE X 2' LONG.
7. STOP BARS SHALL BE 12" WIDE AND SOLID/DASHED LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH & COLOR).
8. ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ARCHITECTURAL ACCESS BOARD (AAB) AS SHOWN ON THE SITE PLANS.
9. DIAGONAL STRIPING SHALL CONSIST OF SOLID LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER. ACCESSIBLE PARKING AISLE STRIPING SHALL CONSIST OF 4" SOLID AZURE BLUE LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER.
10. ACCESSIBLE RAMP LENGTHS MAY VARY. REFER TO SITE PLAN FOR ACTUAL LENGTHS.
11. DIRECTIONAL AND ACCESSIBLE SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
12. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
13. SNOW SHALL NOT BE STORED IN ANY LANDSCAPED AREAS, EXCEPT FOR DESIGNATED SNOW STORAGE AREAS, AND SHALL NOT BE STORED IN ANY MANNER WHICH AFFECTS VISIBILITY FOR PEDESTRIANS AND VEHICLES. THE CLEARING OF SNOW MUST COMMENCE WHEN STOCKPILED SNOW EITHER IMPEDES THE SIDEWALK OR PARKING SPACE ACCESS, AT WHICH TIME, THE APPLICANT WOULD BE EXPECTED TO REMOVE THE SNOW.
14. REPLACEMENT PAVEMENT AS A RESULT OF UTILITY AND DRAINAGE TRENCHING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING PAVEMENT THICKNESS.
15. ALL DISTURBED OFFSITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
16. SITE LIGHTS TO BE INSTALLED PER DETAIL. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE DISTANCE SPECIFIED IN THE DETAIL CANNOT BE ACHIEVED DUE TO DRAINAGE OR UTILITY CONFLICTS. REFER TO DETAIL FOR SITE LIGHT POLE BASE DETAILS AND SPECIFICATIONS.

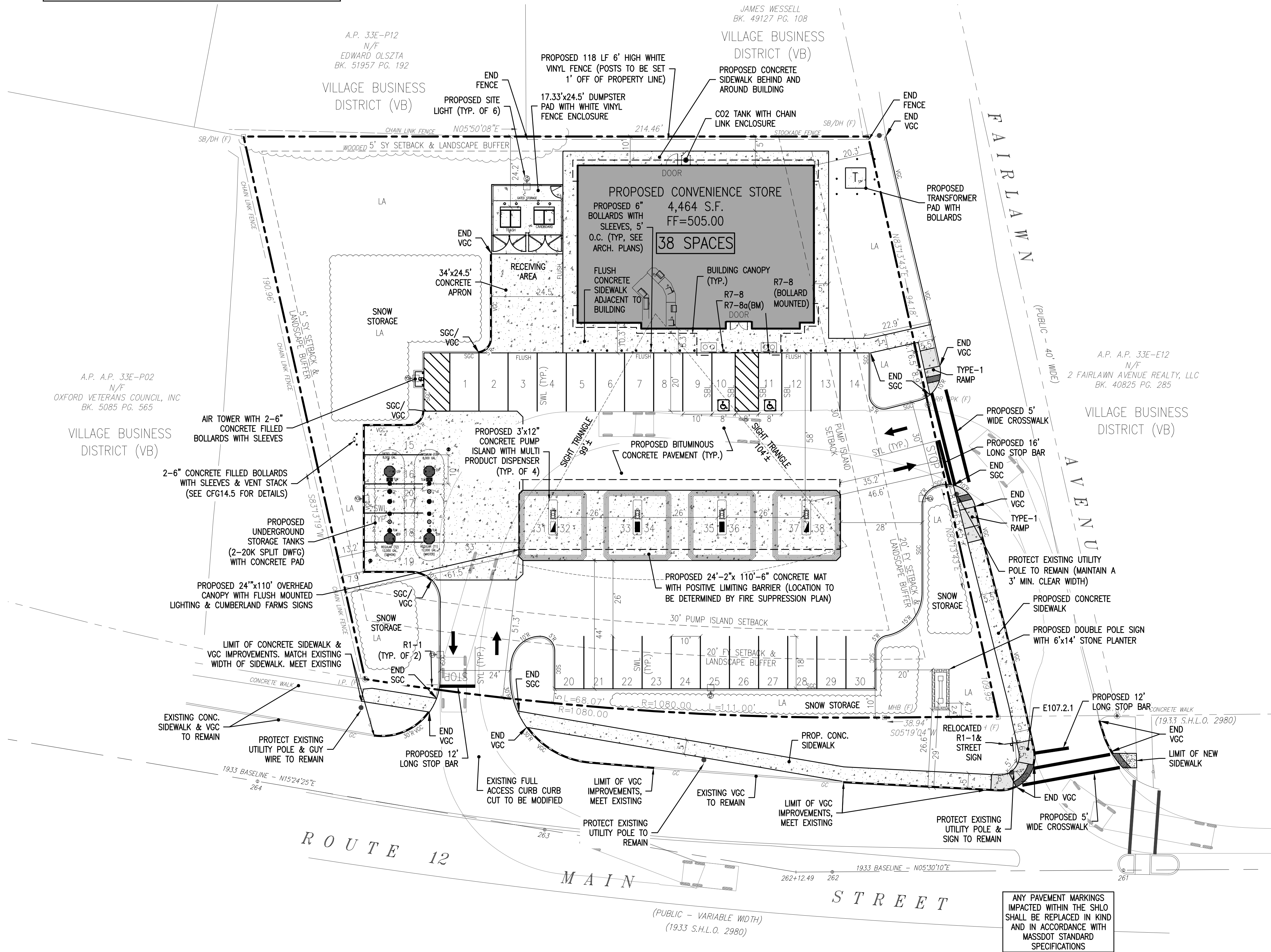
LEGEND		GENERAL ABBREVIATIONS	
EXISTING	PROPOSED	DESCRIPTION	ASSESSOR'S PARCEL
		PROPERTY LINE	BOTTOM OF CURB
		BUILDING SETBACK/ BUFFER	BITUMINOUS CONCRETE CURB
			BITUMINOUS CONCRETE
			CATCH BASIN
	6	CHAIN LINK FENCE	C.B.
	2'R	PARKING SPACES	C.L.F.
		CURB RADIUS	CLEANOUT
		ACCESSIBLE PAVEMENT MARKINGS	CONCRETE SURFACE
		RAMP UPSLOPE DIRECTION	DRAIN MANHOLE
		SIGN	DOUBLE WALL FIBER GLASS
		LIGHT	DASHED WHITE LINE
		UTILITY POLE	DOUBLE YELLOW CENTERLINE
			EDGE OF PAVEMENT
			FINISHED FLOOR ELEVATION
			FF =
			FRONT YARD
			GRANITE CURB
			VERTICAL GRANITE CURB
			SLOPED GRANITE CURB
			GAS METER
			GC
			VGC
			SGM
			SC
		WOODEN GUIDERAIL/FENCE	
		TREE LINE	HIGH DENSITY
		BUILDING COLUMN	POLYETHYLENE PIPE
		PAINTED ARROW	INVERT ELEVATION
			LINEAL FEET
		CONCRETE PAD/SIDEWALK	LANDSCAPED AREA
		BITUMINOUS CONCRETE SIDEWALK	MONOLITHIC CONCRETE CURB
			MATCH EXISTING
			INVERT NOT AVAILABLE
			NOW OR FORMERLY
		ACCESSIBLE RAMP	N/A
			N/F
			OC
			R =
			RD
		IRON PIPE/IRON PIN	REMOVE
			REAR YARD
			REM
			RY
		WELCOME SIGNS	SWEL
			SWL
		SEE YOU SOON SIGNS	SY
			SYL
			TC
			UP

ZONING INFORMATION				
ZONING DISTRICT: VILLAGE BUSINESS DISTRICT (VB)				
OVERLAY AREA: HOUSING OPPORTUNITY OVERLAY (HOO)				
SITE AREA: 0.97± ACRES				
REGULATION	REQUIRED	EXISTING	PROPOSED	
MIN. LOT AREA	TBD	42,072± SF	NO CHANGE	
MIN. LOT FRONTAGE/WIDTH	TBD	422± SF	NO CHANGE	
MIN. FY SETBACK (BLDG)	20'	27.9'±	20.3'±	
MIN. SY SETBACK (BLDG)	5'	7'±	10'±	
MIN. RY SETBACK (BLDG)	5'	N/A	N/A	
MIN. FY SETBACK (CANOPY)	30'	20'±	35.2'±	
MIN. SY SETBACK (CANOPY)	5'	100'±	61.5'±	
MIN. RY SETBACK (CANOPY)	5'	N/A	N/A	
PUMP ISLAND SETBACK	30'	26.5'±	46.6'±	
MAX. BUILDING HEIGHT	35'	<35'±	<35'±	
MAX. LOT/BUILDING COVERAGE	NOT SPECIFIED	N/A	N/A	

PARKING & LOADING INFORMATION		
USE	REQUIRED	PROVIDED
PARKING: RETAIL: 1 SPACE/250 FLOOR AREA PLUS 1 SPACE PER EMPLOYEE (ASSUME 6) $4,464/250 = 17.8 + 6 =$	24 SPACES	38 SPACES INCL. 8 PUMP SPACES
REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES (0-25 TOTAL SPACES)	1 SPACE	2 SPACES
LOADING: LESS THAN 5,000 SF	NONE	NONE

LAND COVERAGE CALCULATIONS		
TOTAL AREA: 0.97± ACRES		
COVER	EXISTING	PROPOSED
BUILDING/CANOPY	0.13± AC	0.16± AC
PAVEMENT/CONCRETE	0.66± AC	0.48± AC
OPEN SPACE	0.18± AC	0.33± AC
TOTAL	0.97± AC	0.97± AC

MUTCD REFERENCE	SIGN
R1-1	
R7-8	
R7-8a	



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8		
9		

CIVIL DESIGN
GROUP, LLC



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GRAPHIC SCALE IN FEET

SITE PLAN

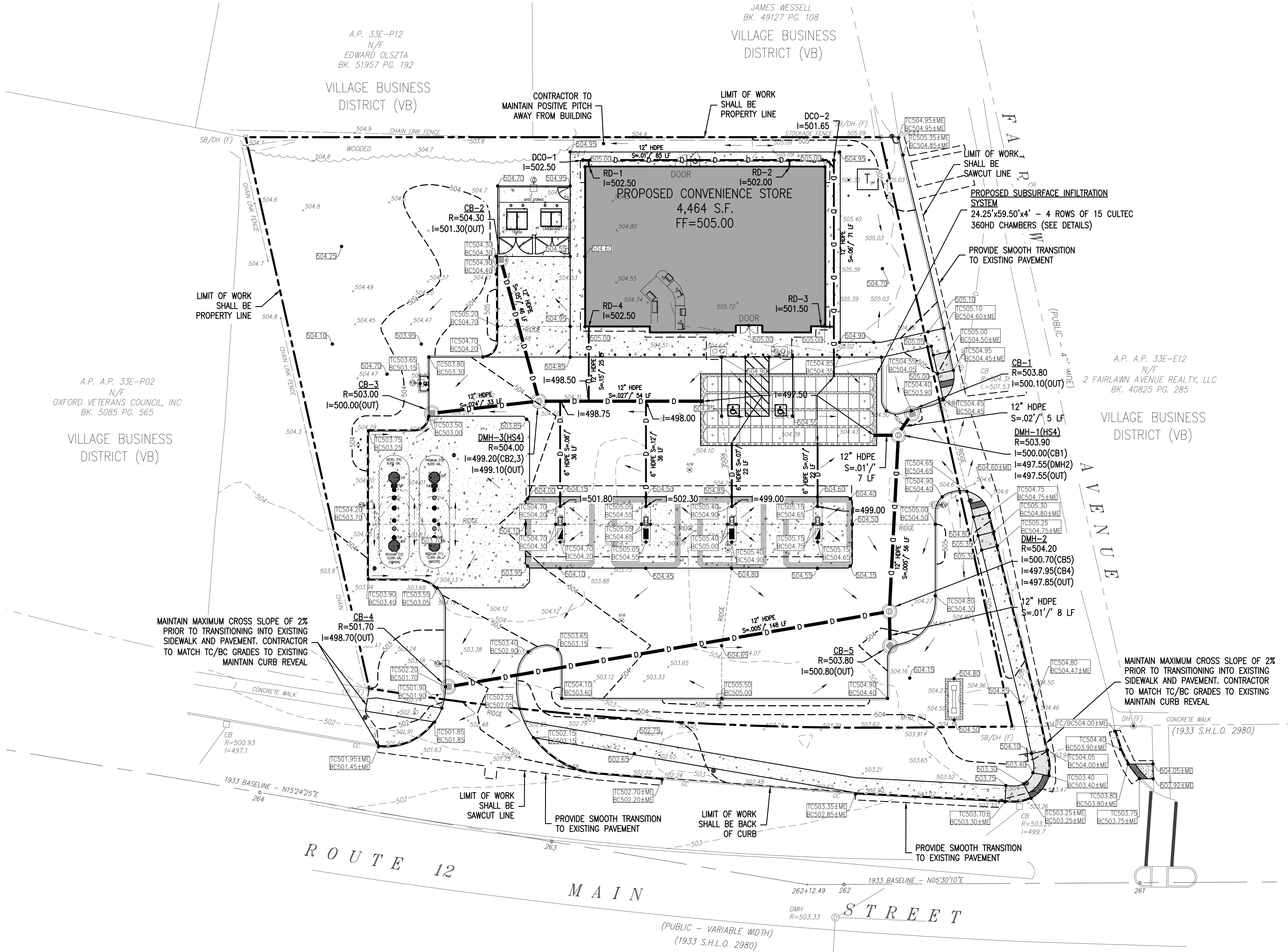
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09/06/2022

GRADING & DRAINAGE NOTES

- THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE ON THE EXISTING CONDITIONS PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
- EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
- NEW SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM RUNNING SLOPE OF 5.0% UNLESS AN ADA COMPLIANT RAMP IS PROVIDED. RAMPS SHALL NOT EXCEED AN 8.0% RUNNING SLOPE AND SHALL NOT EXCEED A 6" RISE UNLESS A HANDRAIL IS PROVIDED. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESS AISLES SHALL BE SLOPED AT A MAXIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES, ROUTES AND RAMPS.
- CURB SHALL TRANSITION FROM FLUSH TO FULL DEPTH REVEAL WITHIN 6 FEET.
- UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
- EXISTING TREES OUTSIDE OF THE LIMIT OF WORK SHALL BE PROTECTED DURING CONSTRUCTION.
- ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
- NEW CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
- NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (ADS N-12 OR APPROVED EQUAL), UNLESS OTHERWISE SPECIFIED.
- ROOF DRAIN LEADERS SHALL BE 6" HDPE PIPE, UNLESS OTHERWISE SPECIFIED.
- C-STORE & GAS CANOPY DRAIN LEADERS SHALL BE INSTALLED WITH A MINIMUM COVER OF 2" AND SHALL MAINTAIN POSITIVE PITCH TOWARDS THEIR RESPECTIVE CONNECTION POINTS.
- THE AREA BELOW THE SUBSURFACE INFILTRATION SYSTEM (SIG) SHALL BE LEFT UNCOMPACTED.
- ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED/SOD GRADE.

LEGEND			GENERAL ABBREVIATIONS	
EXISTING	PROPOSED	DESCRIPTION		
		PROPERTY LINE	ASSESSOR'S PARCEL	A.P.
		DRAIN MANHOLE	BOTTOM OF CURB	BC
		CATCH BASIN	BITUMINOUS CONCRETE CURB	BCC
		DRAIN PIPE	BITUMINOUS CONCRETE	BIT. CONC
		INDEX CONTOUR	BOTTOM OF WALL	BW
		MINOR CONTOUR	CATCH BASIN	CB
		TOP/BOTTOM CURB ELEVATION	CHAIN LINK FENCE	C.L.F.
		SPOT ELEVATION	DRAINAGE CLEANOUT	DCO
		ACCESSIBLE PAVEMENT MARKINGS	CONCRETE SURFACE	CONC
		RAMP UPSLOPE DIRECTION	DRILL HOLE FOUND	DH (F)
		LIGHT	DRAIN MANHOLE	DMH
		UTILITY POLE	DOUBLE WALL FIBER GLASS	DWFG
		BUILDING COLUMN	DASHED WHITE LINE	DWL
		CONCRETE SIDEWALK/PAD	DOUBLE YELLOW CENTERLINE	DYOL
		BITUMINOUS CONCRETE SIDEWALK	EDGE OF PAVEMENT	EOP
		ACCESSIBLE RAMP	EXTRUDED CONCRETE CURB	ECC
		IRON PIPE/IRON PIN	ELECTRIC HANDHOLE	EHH
		MONITORING WELL	FINISHED FLOOR ELEVATION	FF=
		SOIL BORING	FRONT YARD	FY
			VERTICAL GRANITE CURB	GC/VGC
			SLOPED GRANITE CURB	SGC
			GAS METER	GM
			HIGH DENSITY POLYETHYLENE PIPE	HDPE
			INVERT ELEVATION	I=
			LINEAL FEET	LF
			LANDSCAPED AREA	LA
			MONOLITHIC CONCRETE CURB	MCC
			MATCH EXISTING	ME
			INVERT NOT AVAILABLE	N/A
			NOW OR FORMERLY	N/F
			ON CENTER	OC
			RIM ELEVATION	R=
			ROOF DRAIN	RD
			REMOVE	REM
			REAR YARD	RY
			SEWER FORCE MAIN	SFM
			SOLID WHITE EDGE LINE	SWEL
			SOLID WHITE LINE	SWL
			SIDE YARD	SY
			TOP OF CURB	TC
			TOP OF WALL	TW
			UTILITY POLE	UP
			VITRIFIED CLAY	VC
			WATER GATE	WG
			WATER SHUT-OFF	WSO



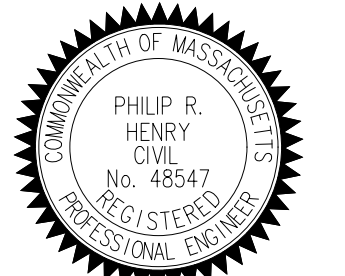
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SEAL:



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PREPARED FOR:

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PROJECT LOCATION:

235 MAIN STREET & 5 FAIRLAWN AVE
OXFORD, MA 01540

RAZE & REBUILD / ADD LAND
ORACLE #MA0617

SCALE:
20 0 10 20 40
GRAPHIC SCALE IN FEET

SHEET:
GRADING & DRAINAGE PLAN

C005.0

DATE: 09/06/2022

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
2. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, SHEET C002.0" PREPARED BY ODOE SURVEY & MAPPING, DATED 06/30/2022.
3. IN ACCORDANCE WITH THE EPA NPDES CONSTRUCTION GENERAL PERMIT RULES AND REGULATIONS, THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PREPARED BY THE ENGINEER AND IS RESPONSIBLE FOR MAINTAINING A WEEKLY REPORT OF THE STATUS OF EROSION AND SEDIMENT CONTROL MEASURES INCLUDING ANY CORRECTIVE ACTIONS PERFORMED. THESE REPORTS INCLUDING THE SWPPP SHALL BE KEPT ONSITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND/OR FEDERAL OFFICIALS UPON REQUEST. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT OF 0.25 INCHES OR GREATER FOR FUNCTIONALITY.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. THESE MEASURES SHALL BE FUNCTIONING PRIOR TO ANY EARTH DISTURBANCE INCLUDING DEMOLITION AND SHALL REMAIN IN PLACE UNTIL UPSTREAM SITE WORK IS COMPLETE AND THE GROUND COVER IS STABILIZED.
5. THE CONTRACTOR SHALL PERFORM ALL WORK, AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
6. CONTRACTOR SHALL IMPLEMENT TEMPORARY AND PERMANENT STABILIZATION METHODS IN ACCORDANCE WITH SECTION 2.2 "STABILIZATION REQUIREMENTS" IN THE 2012 GENERAL NPDES PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES.
7. THE SITE SHALL BE GRADED AND MAINTAINED SUCH THAT STORMWATER RUNOFF IS DIVERTED TO TEMPORARY SEDIMENTATION BASINS TO THE MAXIMUM EXTENT PRACTICABLE. TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED BY THE CONTRACTOR AND RELOCATED AS NEEDED AS THE PROJECT EVOLVES.
8. THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
9. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
10. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
11. ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
12. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
13. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED. THE CONTRACTOR SHALL KEEP ADDITIONAL EROSION CONTROL MEASURES SUCH AS WATTLES ONSITE AT ALL TIMES TO RELOCATE OR ADD SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNFORESEEN CONDITION OCCURS.
14. STOCKPILES SHALL BE LOCATED ONSITE OUTSIDE OF ALL WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND AND SHALL BE COVERED TO PREVENT WASHOUT.
15. ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEDED.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT NO MORE THAN 14 DAYS OF REMOVAL.

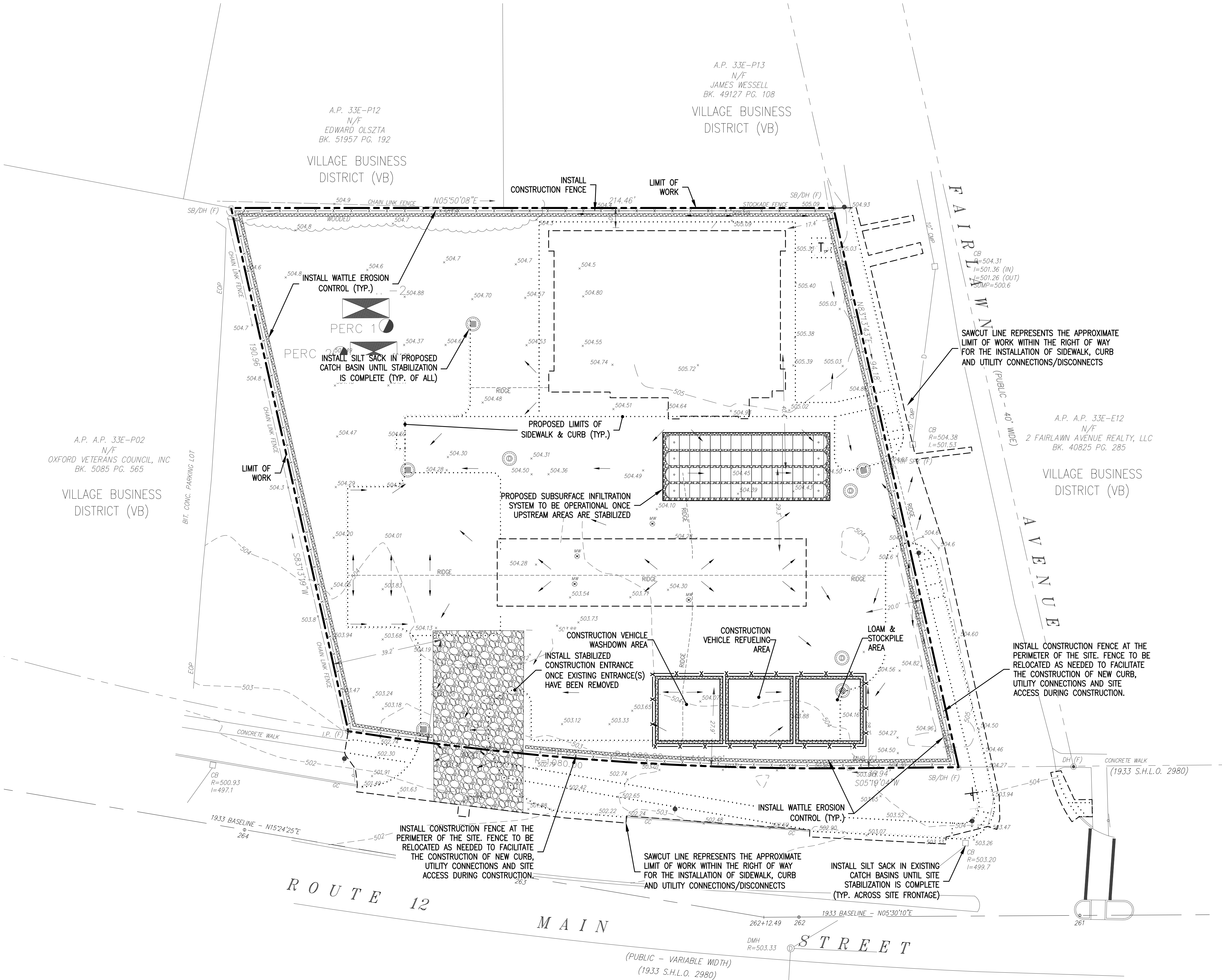
ESTIMATED CONSTRUCTION SEQUENCE

THIS PROJECT IS PROPOSED TO BE A SINGLE PHASE PROJECT WITH AN 18-WEEK CONSTRUCTION SCHEDULE, EXCLUDING WEATHER SETBACKS.

- INSTALL EROSION CONTROL AND CONSTRUCTION FENCE.
- ABATEMENT OF EXISTING BUILDINGS, IF APPLICABLE.
- DISCONNECT UTILITIES, DEMOLISH EXISTING BUILDING & REMOVE PAVEMENT/CURB.
- ROUGH GRADE EARTH & INSTALL DRAINAGE SYSTEM.
- INSTALL BUILDING FOUNDATION.
- INSTALL UNDERGROUND STORAGE TANKS.
- INSTALL UTILITY SERVICES & BUILDING CONSTRUCTION.
- INSTALL FUEL PIPES, DISPENSERS & CONCRETE DISPENSER PADS.
- INSTALL GAS CANOPY, FIRE SUPPRESSION SYSTEM & COMPLETE BUILDING EXTERIOR CONSTRUCTION.
- COMPLETE UTILITY/DRAINAGE CONNECTIONS & PLACE BINDER.
- INSTALL SIDEWALKS, PLACE TOP COAT & STRIPE.
- INSTALL FENCE, WOODEN GUIDE RAIL, SIGNS & LANDSCAPING.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINE
		DRAIN MANHOLE
		CATCH BASIN
		DRAIN PIPE
		HYDRANT
		SIGN
		SITE LIGHT
		FENCE
		UTILITY POLE
		INDEX CONTOUR
		MINOR CONTOUR
		SPOT ELEVATION
		TREE LINE
		IRON PIPE/IRON PIN
		MONITORING WELL
		SOIL BORING
		CONSTRUCTION FENCE
		EDGE OF CURB/PAVEMENT
		PROPOSED BUILDING PAD & GAS PAD FOOTPRINT
		WATTLES
		STABILIZED CONSTRUCTION ENTRANCE

GENERAL ABBREVIATIONS		
ASSESSOR'S PARCEL	A.P.	
BOTTOM OF CURB	BC	
BITUMINOUS CONCRETE CURB	BCC	
BITUMINOUS CONCRETE	BIT. CONC	
BOTTOM OF WALL	BW	
CATCH BASIN	CB	
CHAIN LINK FENCE	C.L.F.	
DRAINAGE CLEANOUT	DCO	
CONCRETE SURFACE	CONC	
DRILL HOLE FOUND	DH (F)	
DRAIN MANHOLE	DMH	
DOUBLE WALL FIBER GLASS	DWFG	
DASHED WHITE LINE	DWL	
DOUBLE YELLOW CENTERLINE	DYCL	
EDGE OF PAVEMENT	EOP	
EXTRUDED CONCRETE CURB	ECC	
ELECTRIC HANDHOLE	EHH	
FINISHED FLOOR ELEVATION	FF=	
FRONT YARD	FY	
VERTICAL GRANITE CURB	GC	
GAS METER	GM	
HIGH DENSITY POLYETHYLENE PIPE	HDPE	
INVERT ELEVATION	I=	
LINEAL FEET	LF	
LANDSCAPED AREA	LA	
MONOLITHIC CONCRETE CURB	MCC	
MATCH EXISTING	ME	
INVERT NOT AVAILABLE	N/A	
NOW OR FORMERLY	N/F	
ON CENTER	OC	
RIM ELEVATION	R=	
ROOF DRAIN	RD	
REMOVE	REM	
REAR YARD	RY	
SEWER FORCE MAIN	SFM	
SOLID WHITE EDGE LINE	SWEL	
SOLID WHITE LINE	SWL	
SIDE YARD	SY	
TOP OF CURB	TC	
TOP OF WALL	TW	
UTILITY POLE	UP	
VITRIFIED CLAY	VC	
WATER GATE	WG	
WATER SHUT-OFF	WSO	



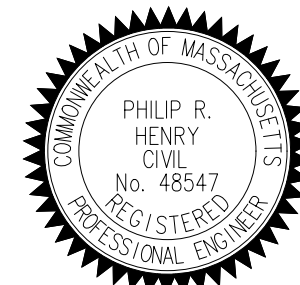
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CDG PROJECT #: 21033

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SEAL:



PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

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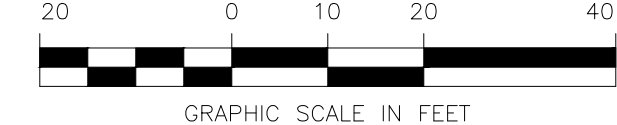
Cumberland
Farms
165 FLANDERS ROAD
WESTBOROUGH, MA 01581

PROJECT LOCATION:

235 MAIN STREET & 5 FAIRLAWN AVE
OXFORD, MA 01540

RAZE & REBUILD / ADD LAND
ORACLE #MA0617

SCALE:



SHEET:

EROSION &
SEDIMENTATION
CONTROL PLAN
C006.0

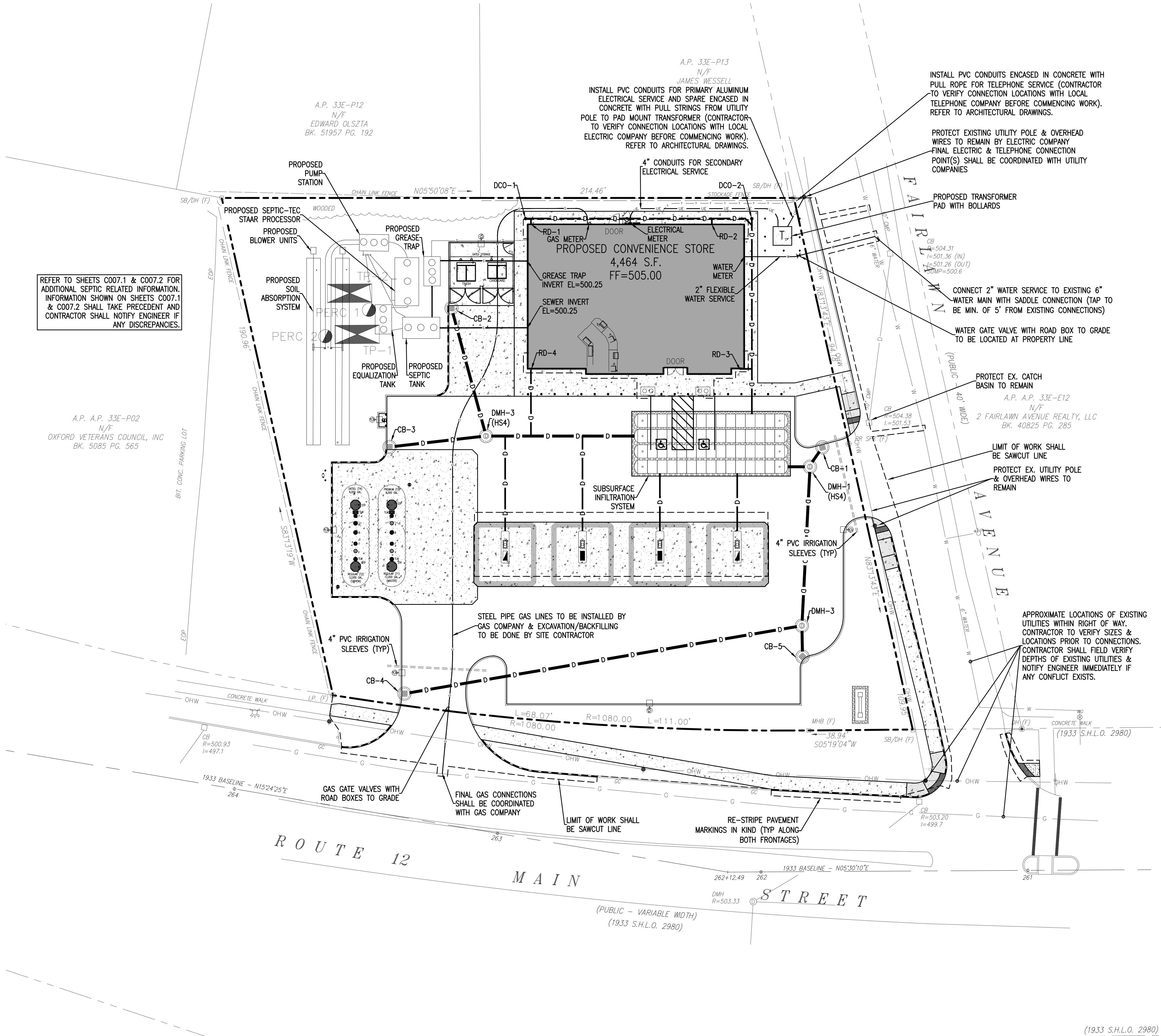
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09/06/2022

UTILITY NOTES

- ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5" AND A MAXIMUM OF 6" OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- ALL WATER SERVICE INSTALLATION METHODS AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- WATER AND GAS MAINS DEPICTED IN THE RIGHT OF WAY ARE BASED ON RECORD DRAWINGS. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONNECTION.
- PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND COMPACTION FOR THE GAS LINE.
- DUE TO THE SCALE OF THE SITework DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
- ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS SHALL CONFORM TO MUNICIPALITY STANDARDS AND REQUIREMENTS.
- SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
- EXISTING WATER SERVICES ARE TO BE CUT & CAPPED AT THE MAIN, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL VERIFY THE SAME WITH THE DEPARTMENT OF PUBLIC WORKS.
- WATER SERVICE CONNECTIONS SHALL BE INSPECTED BY THE MUNICIPAL WATER & SEWER DEPARTMENT.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- WATER SERVICE SHALL PASS BELOW ROOF DRAIN LINES AND MAINTAIN 12" OF SEPARATION.
- CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING UTILITIES ALONG THE PATH OF THE PROPOSED UTILITY CONNECTIONS AND NOTIFY ENGINEER IMMEDIATELY IF A CONFLICT EXISTS.
- THE PROPOSED SEPTIC SYSTEM IS SHOWN DIAGRAMMATICALLY. THE FINAL SEPTIC DESIGN SHALL BE SUBMITTED UNDER SEPARATE COVER TO THE BOARD OF HEALTH.
- PERMITS FOR PROPOSED UTILITY CONNECTIONS WILL BE COORDINATED BY THE RESPECTIVE UTILITY COMPANIES.

REFER TO SHEETS C007.1 & C007.2 FOR ADDITIONAL SEPTIC RELATED INFORMATION. INFORMATION SHOWN ON SHEETS C007.1 & C007.2 SHALL TAKE PRECEDENT AND CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES.



LEGEND			GENERAL ABBREVIATIONS	
EXISTING	PROPOSED	DESCRIPTION		
		PROPERTY LINE	A.P.	ASSESSOR'S PARCEL
		CATCH BASIN	BC	BOTTOM OF CURB
		SEWER MANHOLE	BCC	BITUMINOUS CONCRETE CURB
		TELEPHONE MANHOLE	BIT.	BITUMINOUS CONCRETE
		DRAIN PIPE	CB	CATCH BASIN
		GAS LINE	C.L.F.	CHAIN LINK FENCE
		OVERHEAD WIRES	DCO	DRAIN CLEANOUT
		UNDERGROUND WIRES	SCO	SEWER CLEANOUT
		TELEPHONE LINE	CONC	CONCRETE SURFACE
		WATER LINE	DH (F)	DRILL HOLE FOUND
		SEWER LINE	DMH	DRAIN MANHOLE
		ACCESSIBLE PAVEMENT MARKINGS	DWFG	DOUBLE WALL FIBER GLASS
		SIGN	DWL	DASHED WHITE LINE
		LIGHT	DYOL	DOUBLE YELLOW CENTERLINE
		UTILITY POLE	EOP	EDGE OF PAVEMENT
		BUILDING COLUMN	ECC	EXTRUDED CONCRETE CURB
		CONCRETE SIDEWALK/PAD	EGH	ELECTRIC HANDHOLE
		BITUMINOUS CONCRETE SIDEWALK	FF	FINISHED FLOOR ELEVATION
		IRON PIPE/IRON PIN	FY	FRONT YARD
		MONITORING WELL	GC	VERTICAL GRANITE CURB
		SOIL BORING	GM	GAS METER
			HDPE	HIGH DENSITY POLYETHYLENE PIPE
			I=	INVERT ELEVATION
			LF	LINEAL FEET
			LA	LANDSCAPED AREA
			MCC	MONOLITHIC CONCRETE CURB
			ME	MATCH EXISTING
			N/A	INVERT NOT AVAILABLE
			N/F	NOW OR FORMERLY
			OC	ON CENTER
			R=	RIM ELEVATION
			RD	ROOF DRAIN
			REM	REMOVE
			RY	REAR YARD
			SFM	SEWER FORCE MAIN
			SWEL	SOLID WHITE EDGE LINE
			SWL	SOLID WHITE LINE
			SY	SIDE YARD
			SOC	SLOPED GRANITE CURB
			TC	TOP OF CURB
			TW	TOP OF WALL
			UP	UTILITY POLE
			VC	VITRIFIED CLAY
			WG	WATER GATE
			WSO	WATER SHUT-OFF

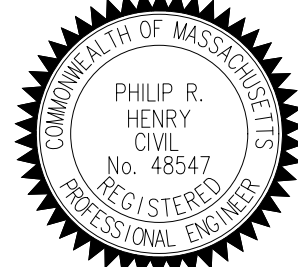
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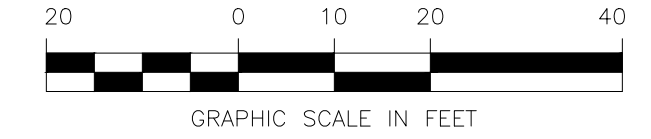
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RAZE & REBUILD / ADD LAND
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SCALE:



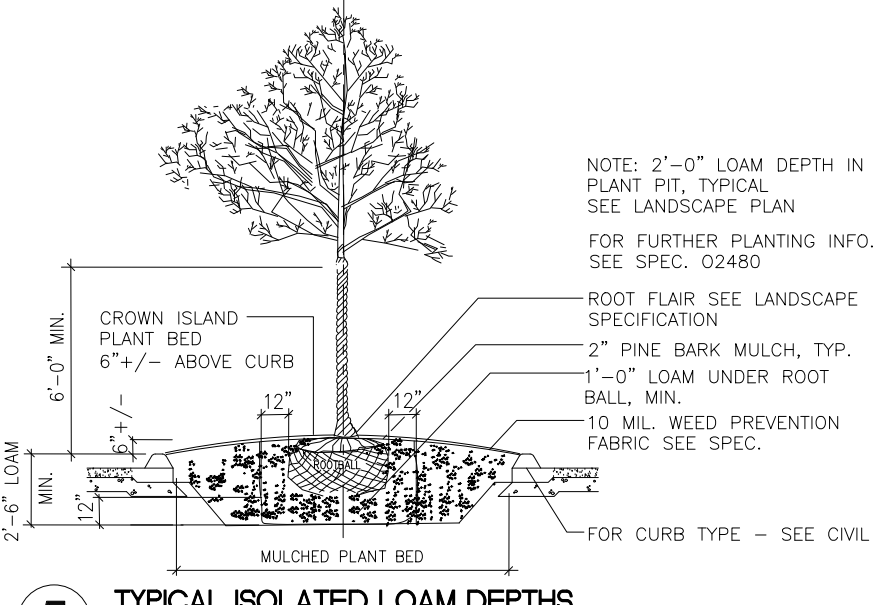
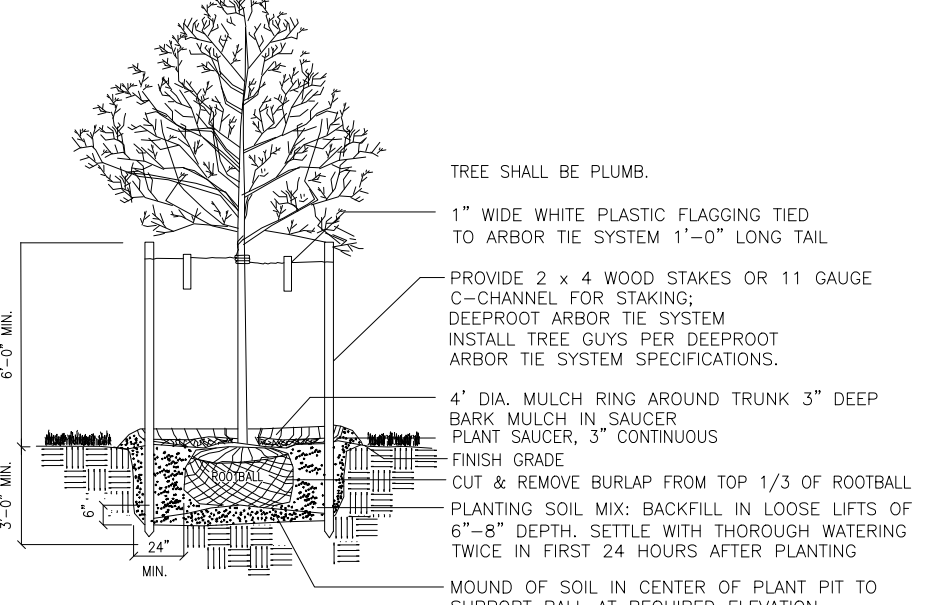
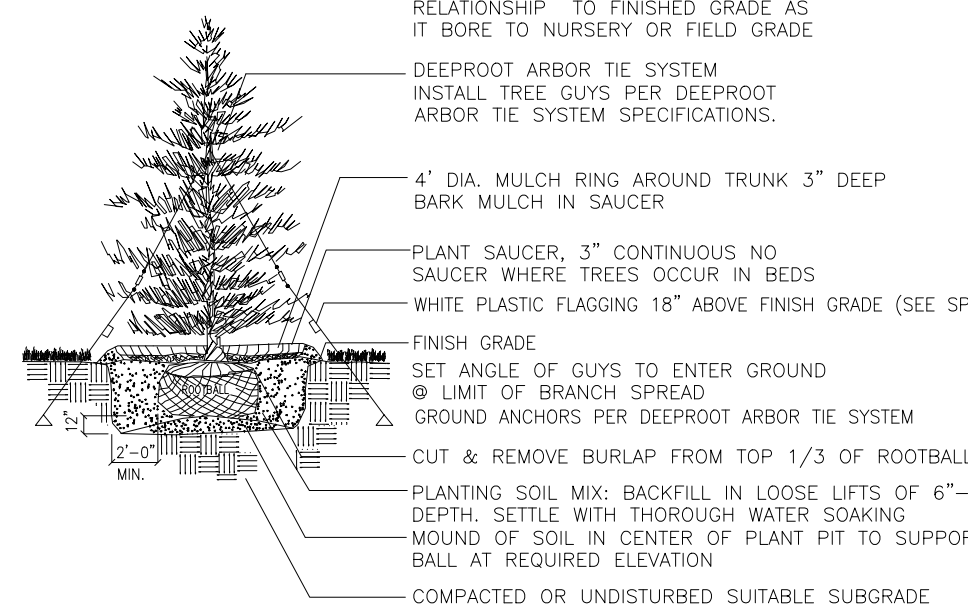
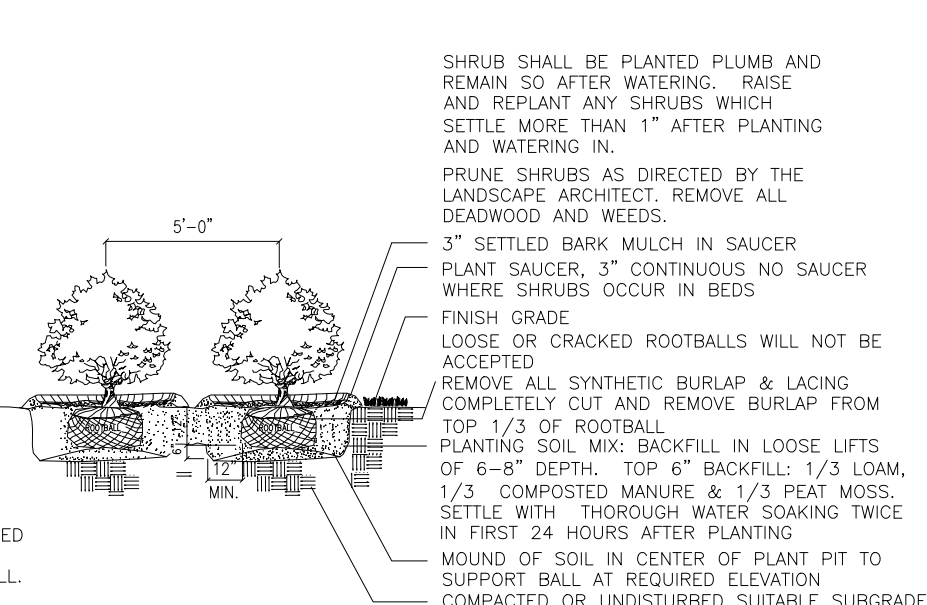
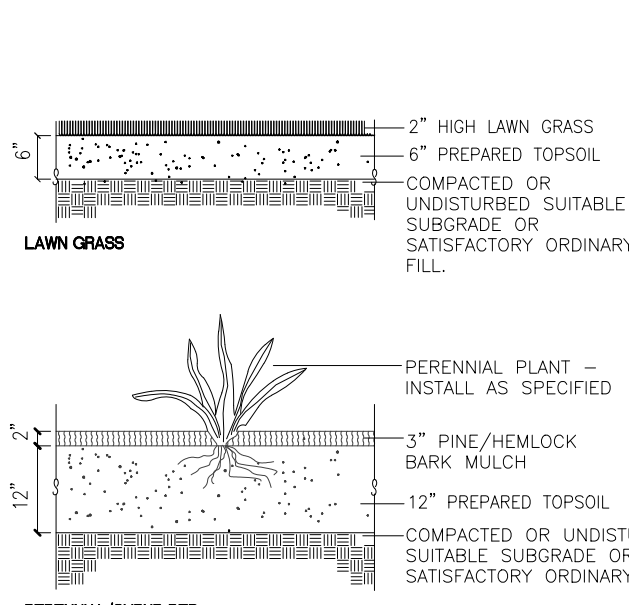
SHEET:

UTILITY PLAN

C007.0

DATE: 09/06/2022

PLANT MATERIAL LIST				
SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS AND ORNAMENTAL TREES				
BNC	4	BETULA NIGRA 'HERITAGE'	HERITAGE RIVERBIRCH	8"-10"
PSC	3	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	3-3 1/2"
GT	3	GLEDITSIA T. I. 'SKYLINE'	SKYLINE HONEYLOCUST	3-3 1/2"
SHRUBS				
HM	16	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	NIKKO BLUE HYDRANGEA	2 1/2-3"
JS	11	JUNIPERUS CHINENSIS 'SARGENTII'	SARGENTS JUNIPER	18-24"
TMD	14	TAXUS MEDIA x DENSIFORMIS	DESIFORMIS YEW	2 1/2-3"
PERENNIALS AND GRASSES				
CA	52	CALAMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS	1 GAL
FE	49	FESTUCA c. 'ELIJAH BLUE'	ELIJAH BLUE FESCUE	1 GAL
HH	50	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILLIES	1 GAL
IS	50	IRIS SIBERICA 'CAESAR'S BROTHER'	CAESAR'S BROTHER'S IRIS	1 GAL



GENERAL NOTES

- CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH DESIGN DOCUMENTS, NOTES & DETAILS AND THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, CURRENT EDITION.
- CONTRACTOR SHALL NOTIFY/COORDINATE WITH THE MUNICIPALITY PRIOR TO PLANT MATERIAL INSTALLATION.
- PRIOR TO THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL CONTACT DIG SAFE @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. SEE SPECIFICATION.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1-CURRENT EDITION.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN. NO PLASTIC BURLAP.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- HEAL ALL CONSTRUCTION SCARS WITH NATURALIZED GRASS, LAWN OR MULCH AS INDICATED ON PLAN.
- "DRY ROOTS" SHALL BE ADDED TO ALL NEW TREE PLANTING PITS. ALL NEW LOAM SHALL BE TESTED AND AMENDED AS STATED IN THE LOAM REPORT PROVIDED BY LOAM SUPPLIER.
- LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE PROGRAM FOR THE 60 DAY MAINTENANCE PERIOD TO OWNER FOR ALL PROPOSED PLANT MATERIAL.
- PROTECT EXISTING PLANT MATERIAL WITHIN CONSTRUCTION LIMITS. PROVIDE WATERING PROGRAM FOR ALL PROPOSED PLANT MATERIAL DURING CONSTRUCTION.

IRRIGATION NOTES

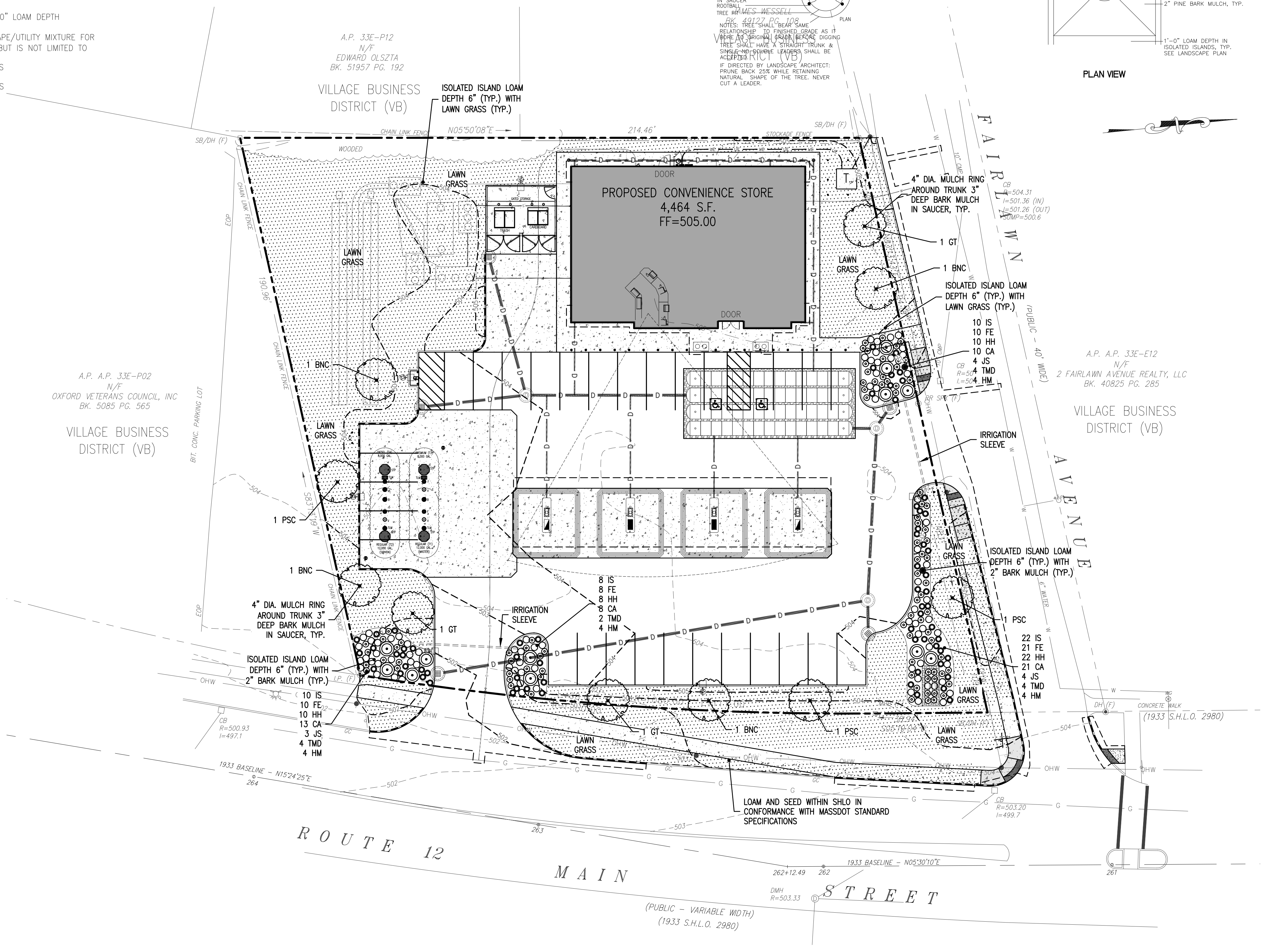
- THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. SHOP DRAWINGS SHALL BE PROVIDED AT A SUITABLE SCALE TO ILLUSTRATE THAT THE DESIGNATED PLANT MATERIALS WILL BE IRRIGATED BY EITHER SPRAY HEADS, MIST HEADS OR DRIP IRRIGATION TUBING.
- IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.
- ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER-SPRAY ONTO THE PAVEMENT.
- ALL TREES, SHRUBS AND GROUND COVER SHALL BE DRIP IRRIGATED/IRRIGATED WITH SHRUB MIST HEADS. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.
- THE IRRIGATION LAYOUT AND ALL OF THE COMPONENTS SHALL CONFORM TO THE SPECIFICATIONS. THE SPECIFICATIONS CALL FOR SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL, AS WELL AS CONFORMANCE TO THE MATERIALS SPECIFIED.
- THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.
- SLEEVING UNDER PAVEMENTS MUST BE AVAILABLE AND IN THE PROPER LOCATION PRIOR TO PAVING.
- THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- THE IRRIGATION ALTERNATE SHALL INCLUDE THE COST OF CONNECTING TO THE BUILDING WATER SERVICE DOWN STREAM OF THE BACK FLOW PREVENTER OF THE IRRIGATION WELL.
- THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE, GRANITE, PAVEMENT & CURBS.

LEGEND

	PROTECT EXISTING TREES TO REMAIN, TYP.		SEEDDED LAWN (SPRAY-HEAD IRRIGATION)
	EVERGREEN TREES (DRIP OR MIST HEAD IRRIGATION)		MA, STATE NATURALIZED HYDRO-SEEDDED SLOPE MIX (NO IRRIGATION)
	DECIDUOUS SHADE TREES (DRIP OR MIST HEAD IRRIGATION)		IRRIGATION SLEEVES
	ORNAMENTAL & FLOWERING TREES (DRIP OR MIST HEAD IRRIGATION)		
	EVERGREEN SHRUBS (DRIP OR MIST HEAD IRRIGATION)		
	DECIDUOUS SHRUBS (DRIP OR MIST HEAD IRRIGATION)		
	PERENNIALS (DRIP OR MIST HEAD IRRIGATION)		

LANDSCAPE NOTES

- LOAM DEPTHS SHALL BE AS FOLLOWS:
 - LAWN AREAS: 6" ROLLED THICKNESS
 - PLANT BEDS: 1'-0" LOAM DEPTH IN THE PLANTED AREA WITH 2" MULCH
 - ISOLATED PLANTED ISLANDS: 1'-0" LOAM DEPTH
- LAWN GRASS SHALL BE LANDSCAPE/UTILITY MIXTURE FOR SUN/SHADE AND MAY INCLUDE BUT IS NOT LIMITED TO THE FOLLOWING SPECIES:
 - ENCHANTED PERENNIAL RYEGRASS
 - CREeping RED FESCUE
 - GOLDRUSH KENTUCKY BLUEGRASS



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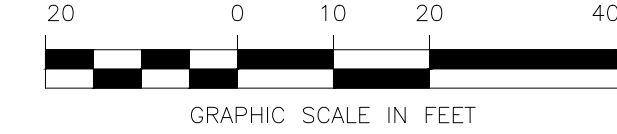
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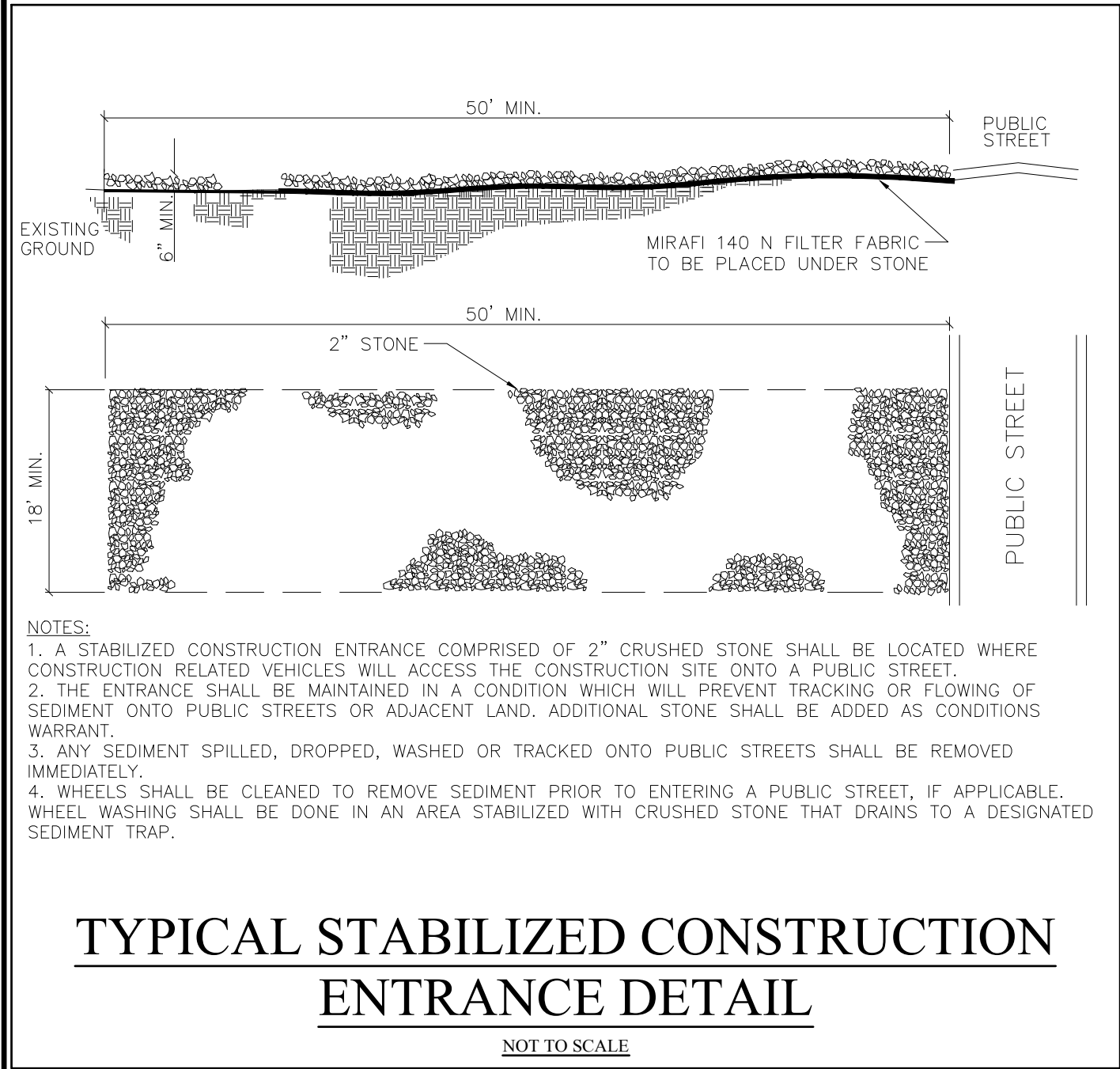


SHEET:

LANDSCAPE PLAN

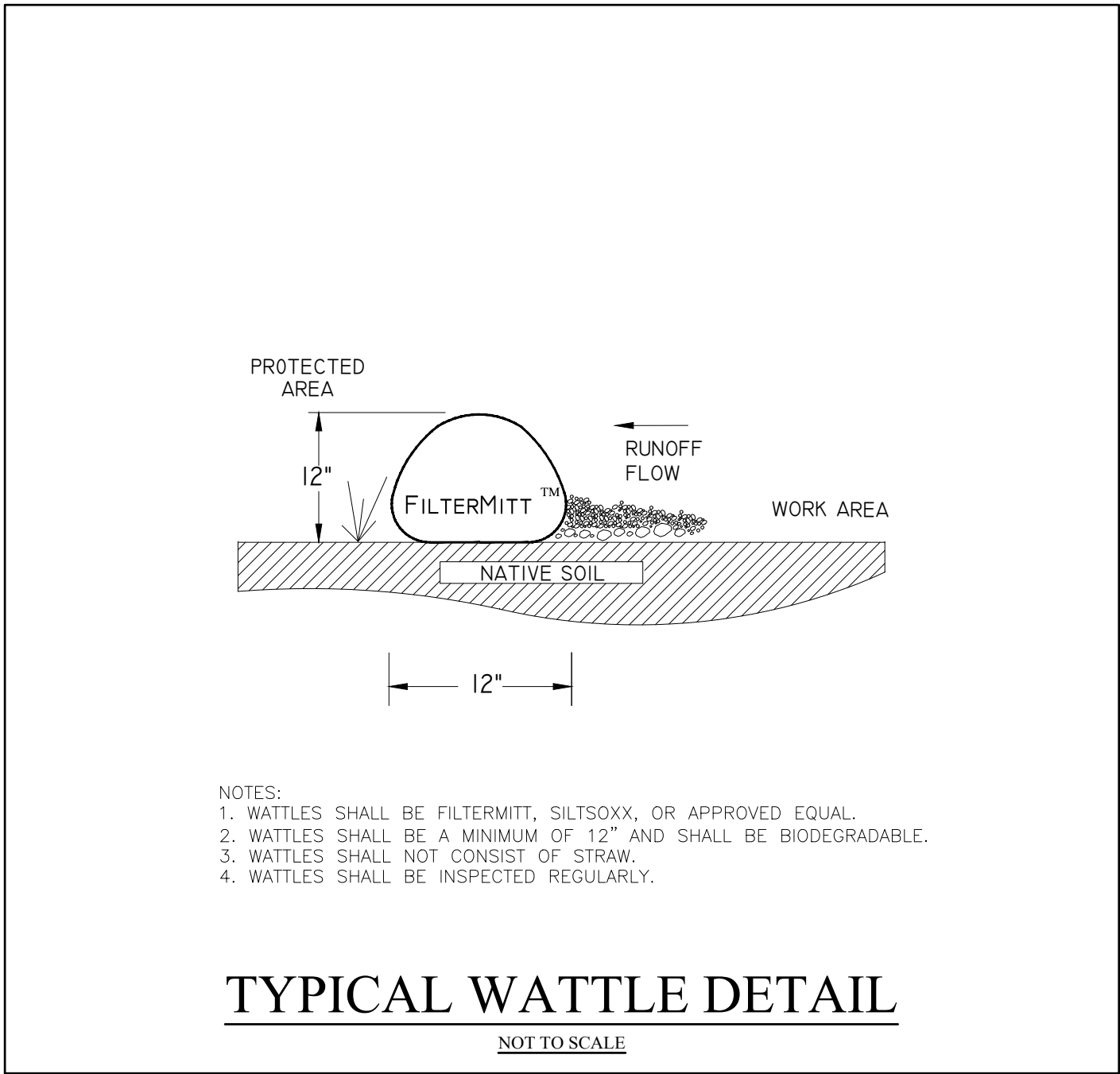
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DATE: 09/06/2022



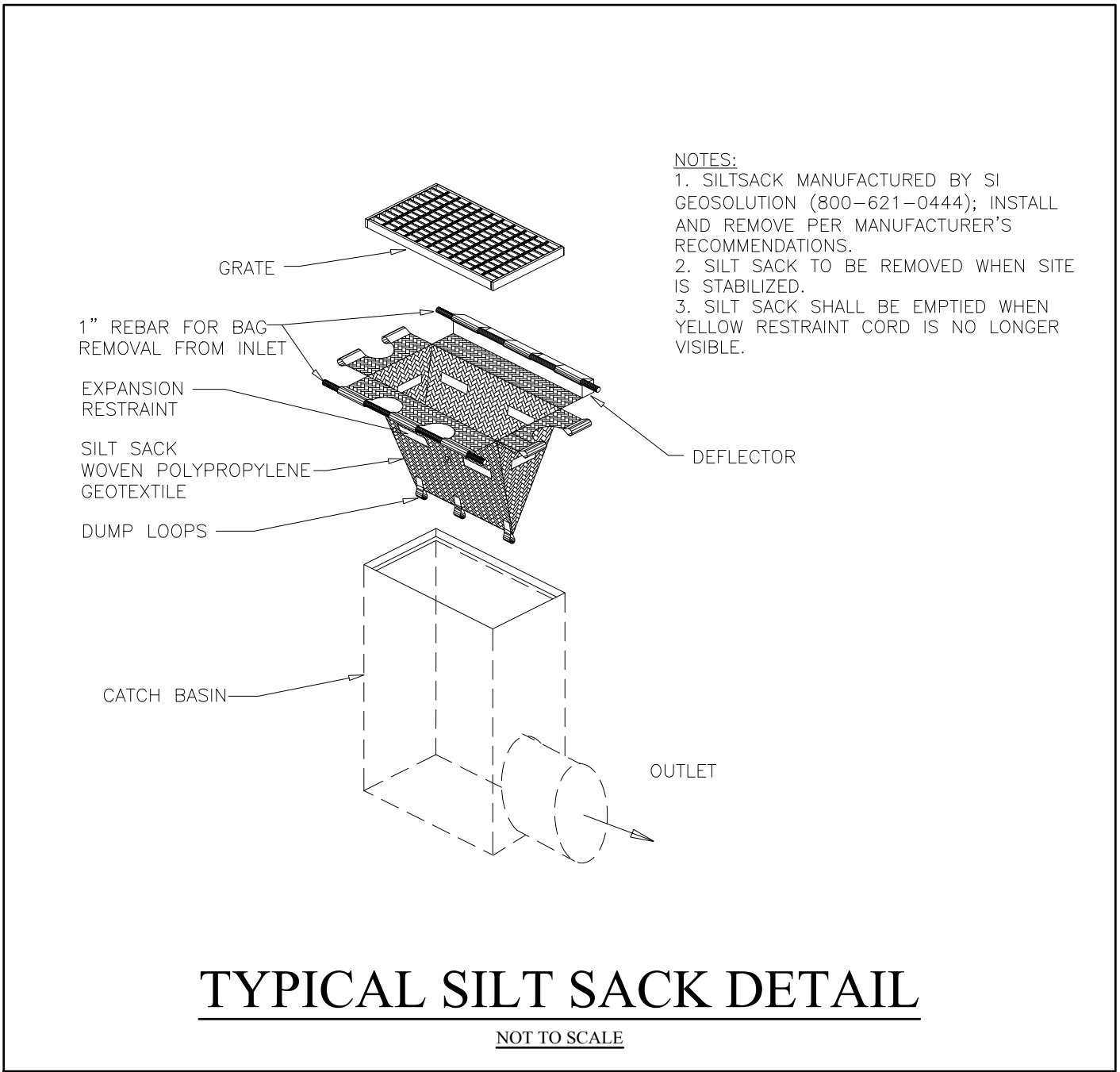
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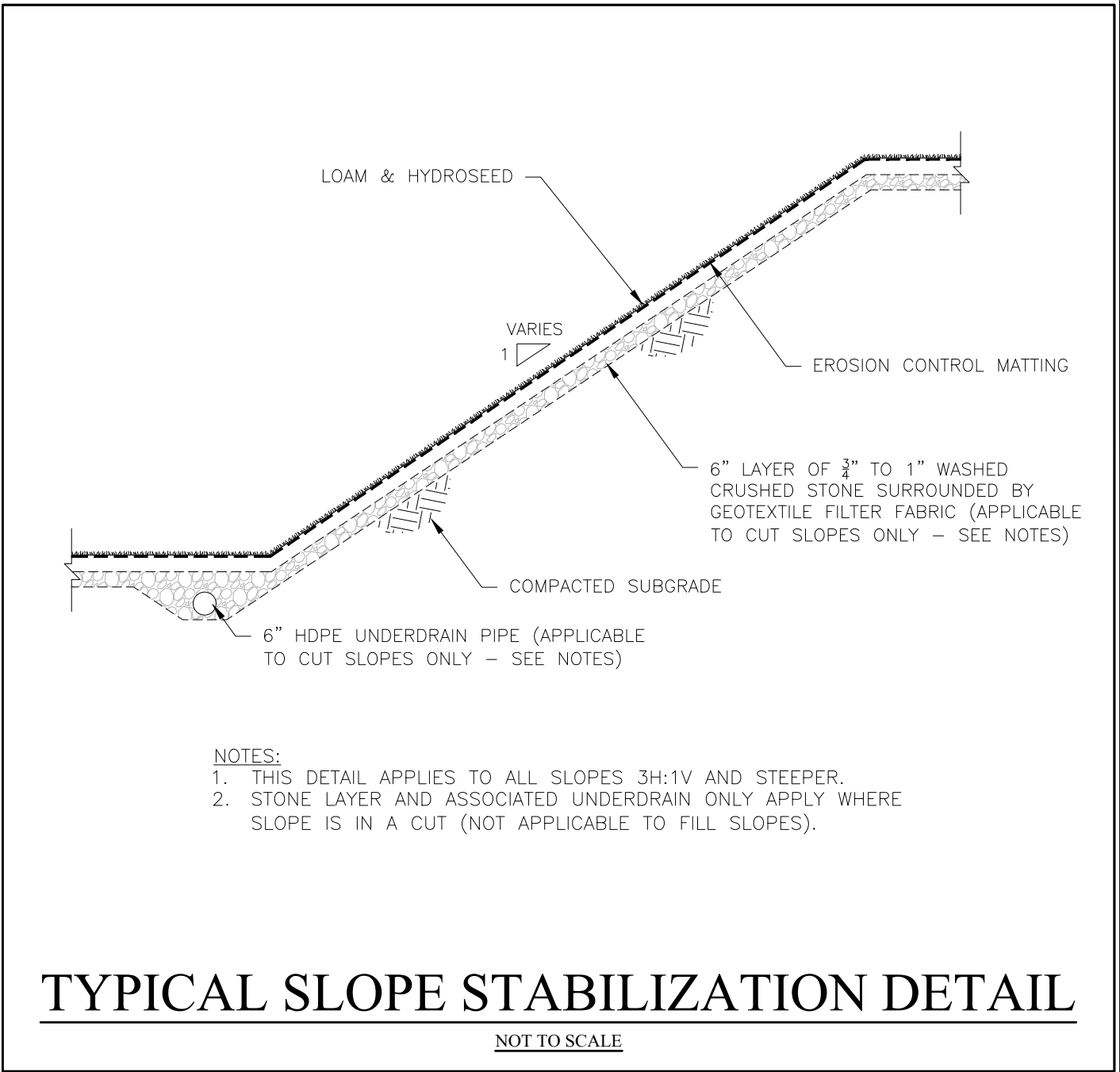
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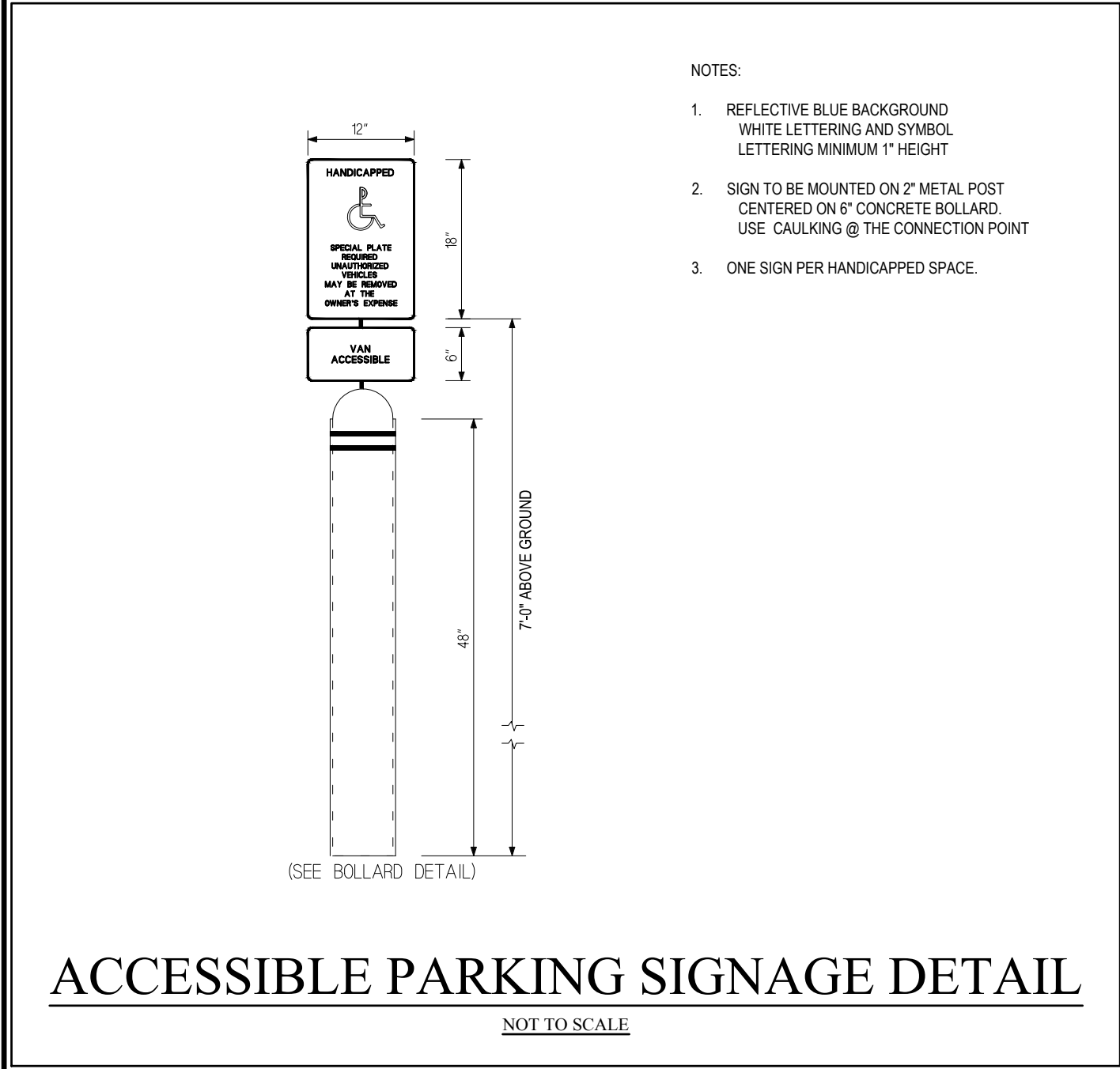
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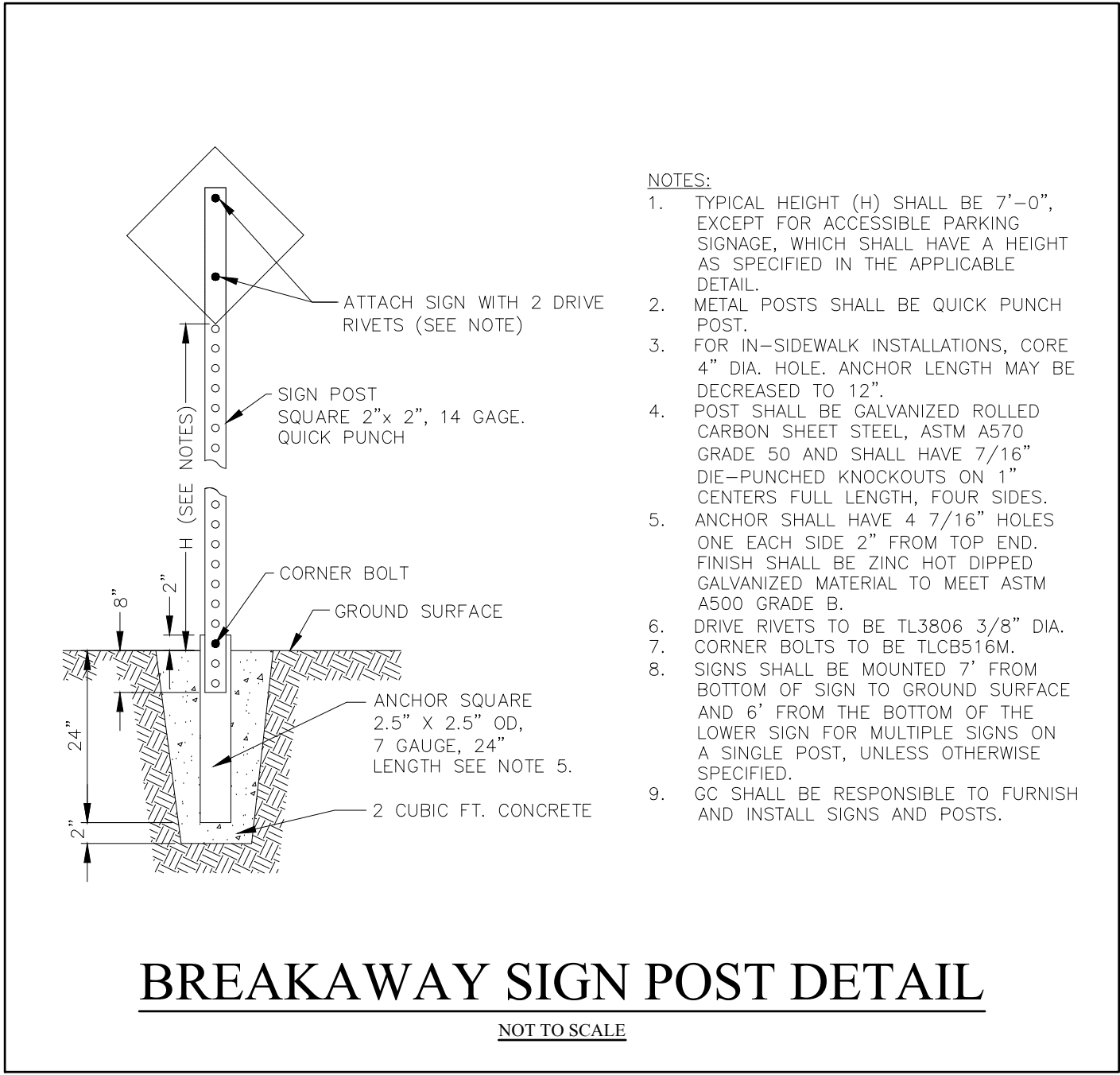
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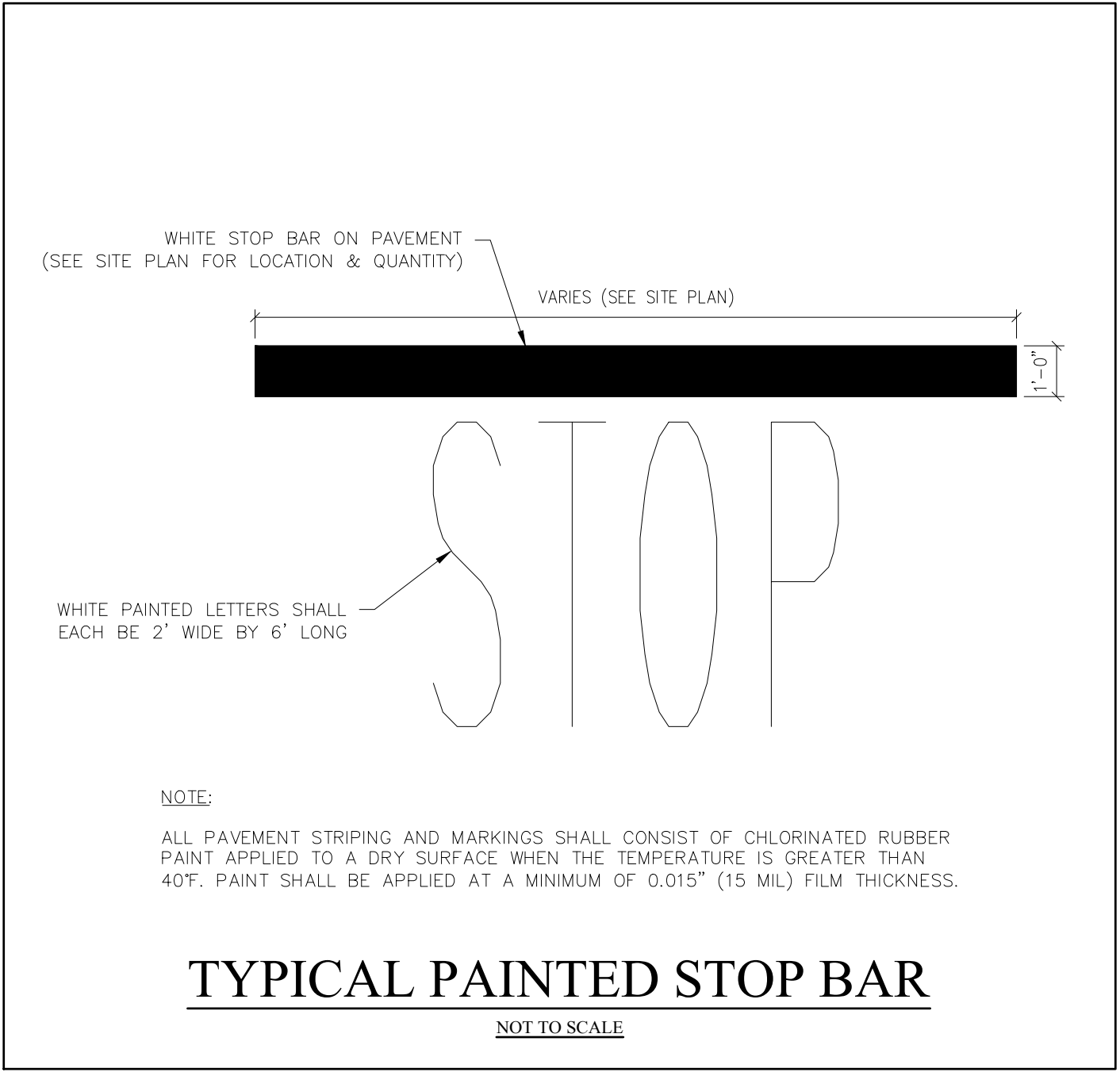
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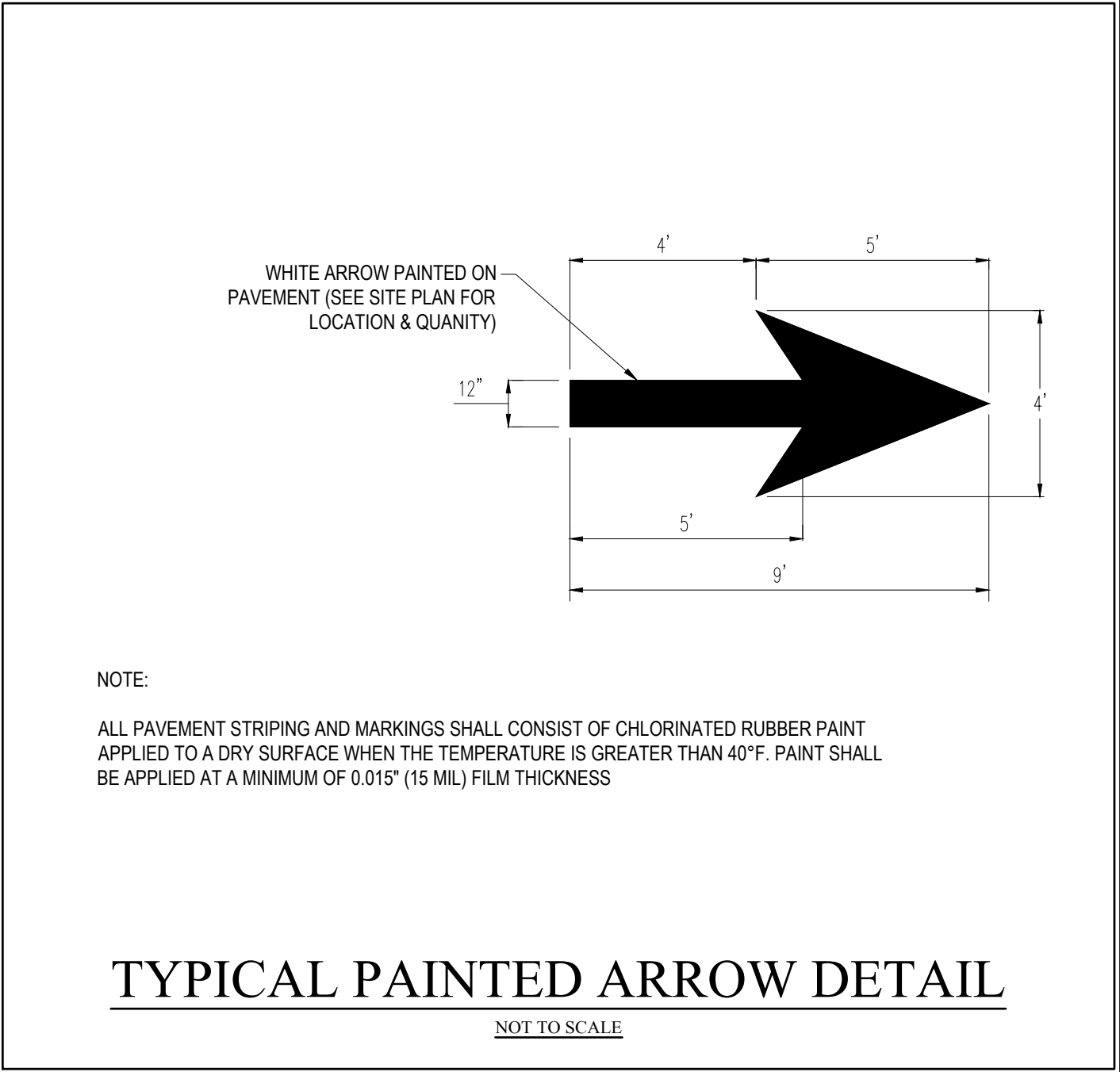
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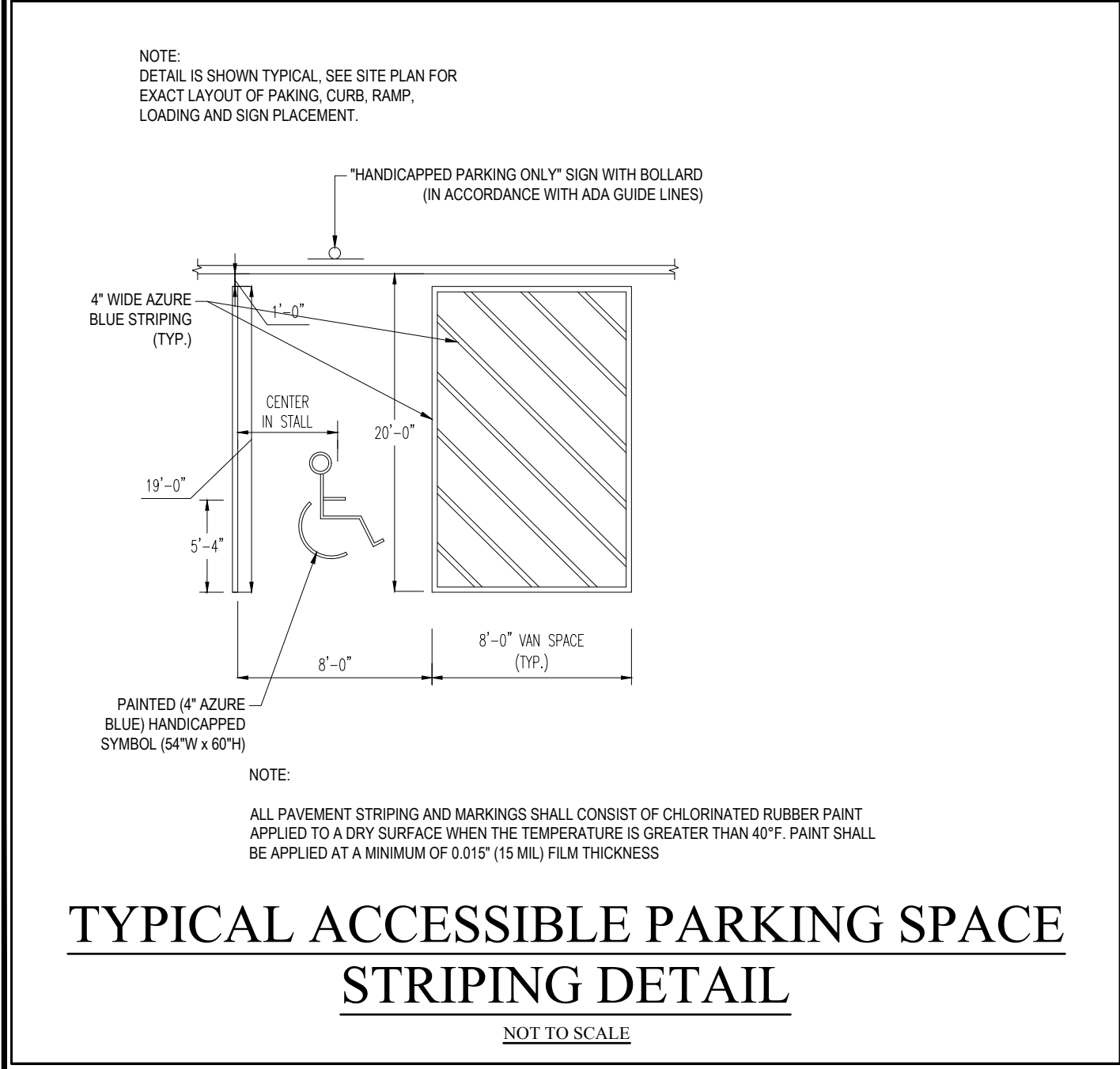
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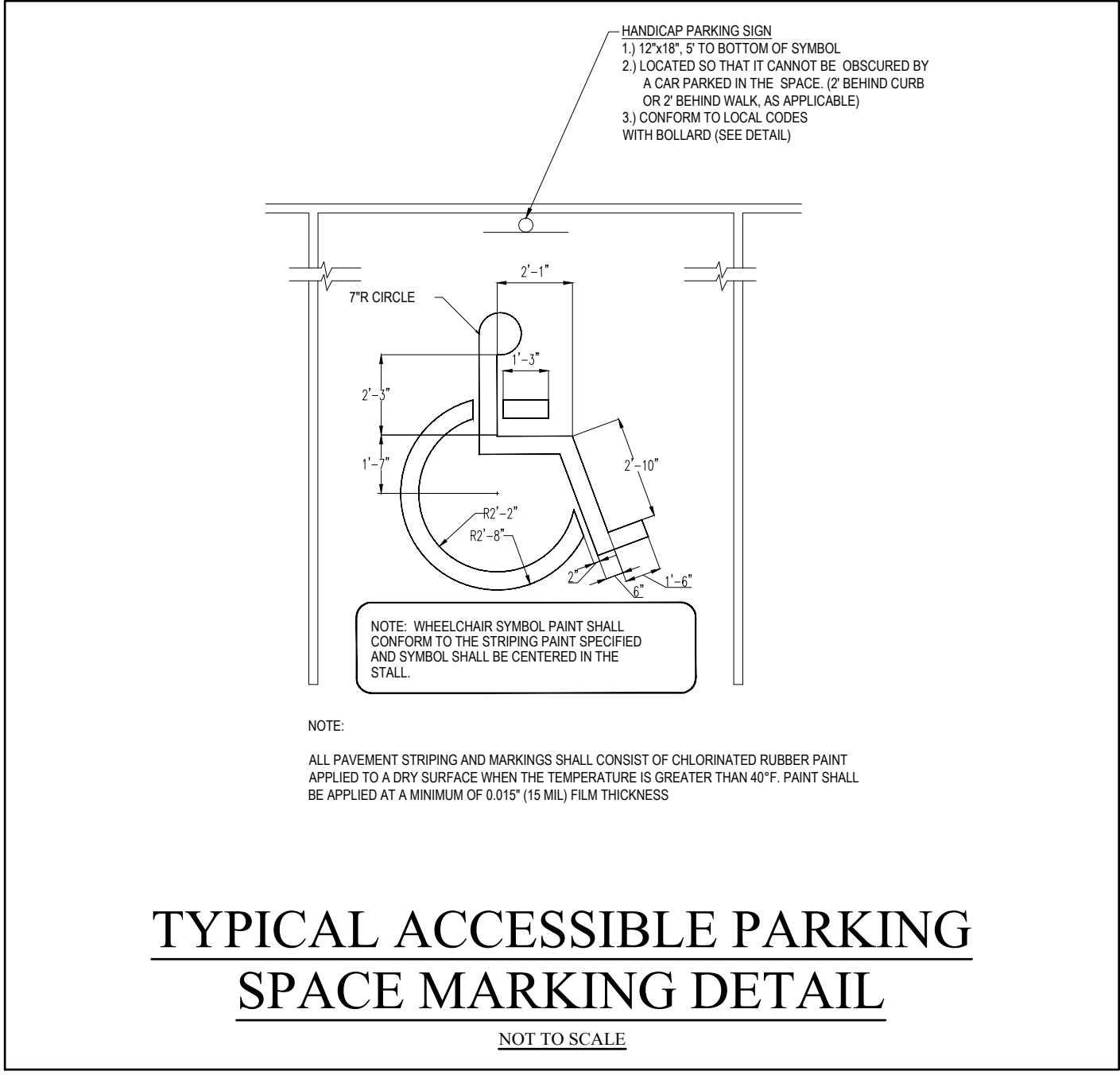
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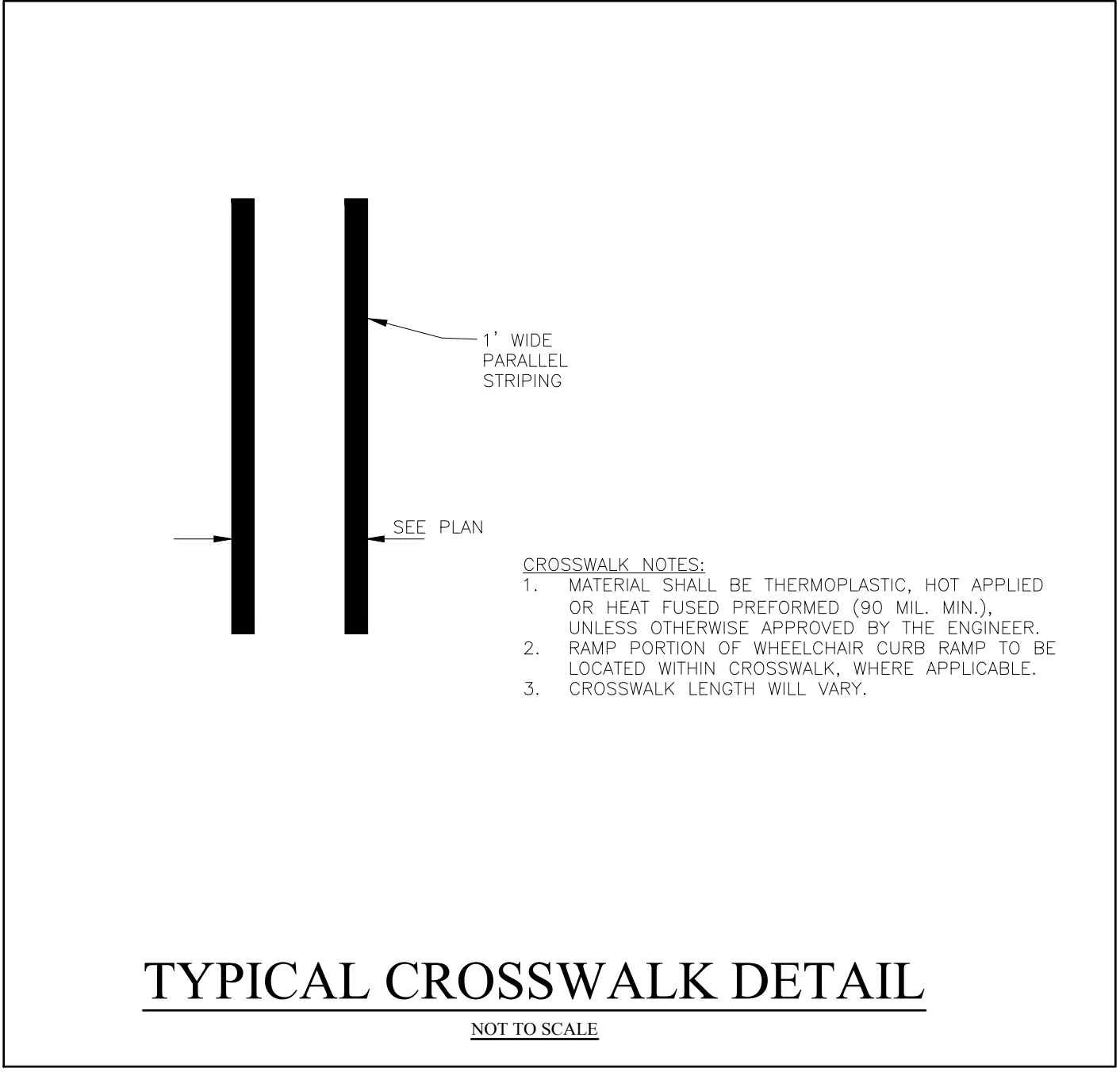
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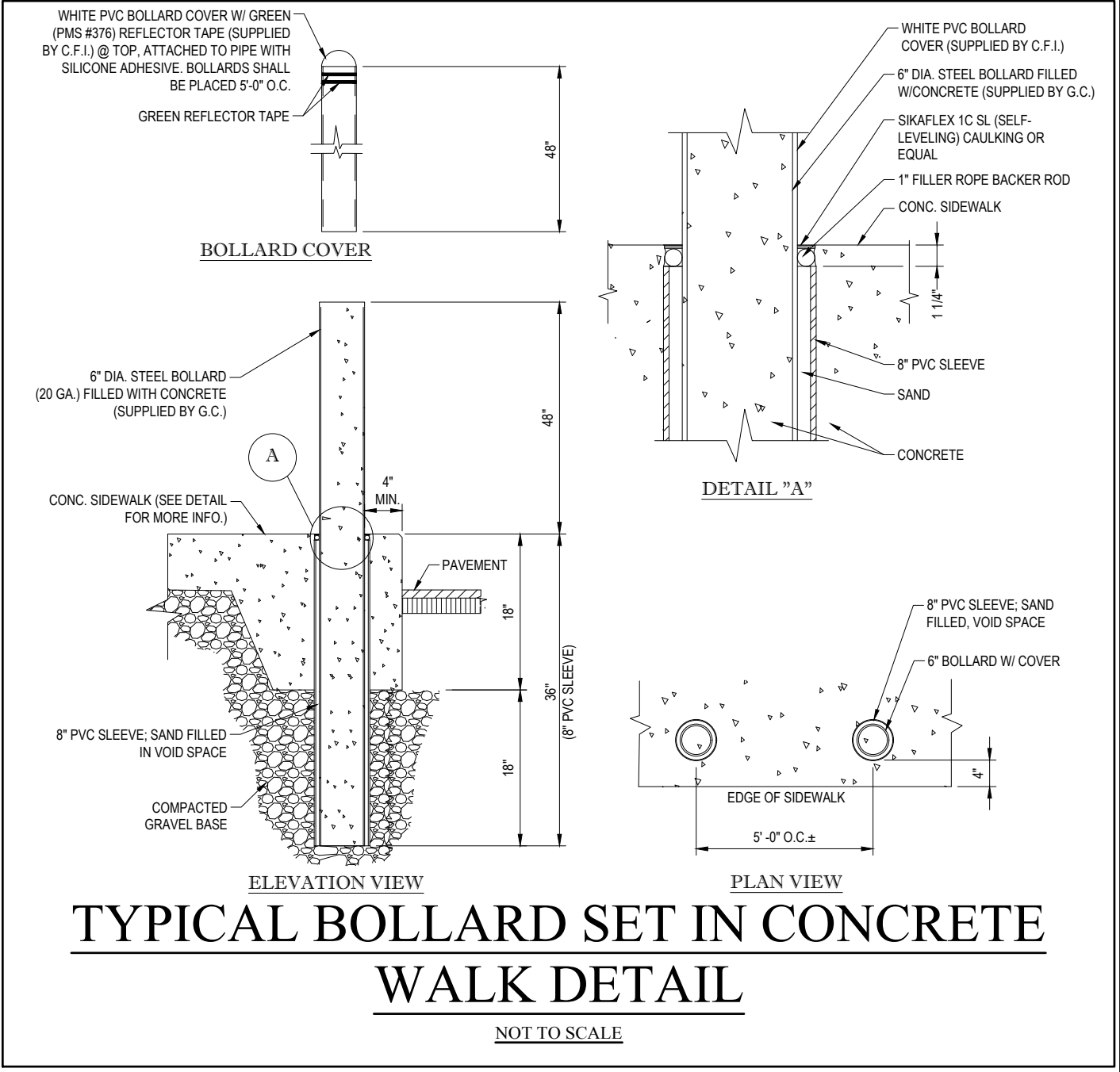
**TYPICAL ACCESSIBLE PARKING
SPACE MARKING DETAIL**

NOT TO SCALE



TYPICAL CROSSWALK DETAIL

NOT TO SCALE



**TYPICAL BOLLARD SET IN CONCRETE
WALK DETAIL**

NOT TO SCALE

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COMMONWEALTH OF MASSACHUSETTS

PHILIP R. HENRY

CIVIL

No. 48547

REGISTERED PROFESSIONAL ENGINEER

PHILIP R. HENRY, P.E.

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AS NOTED

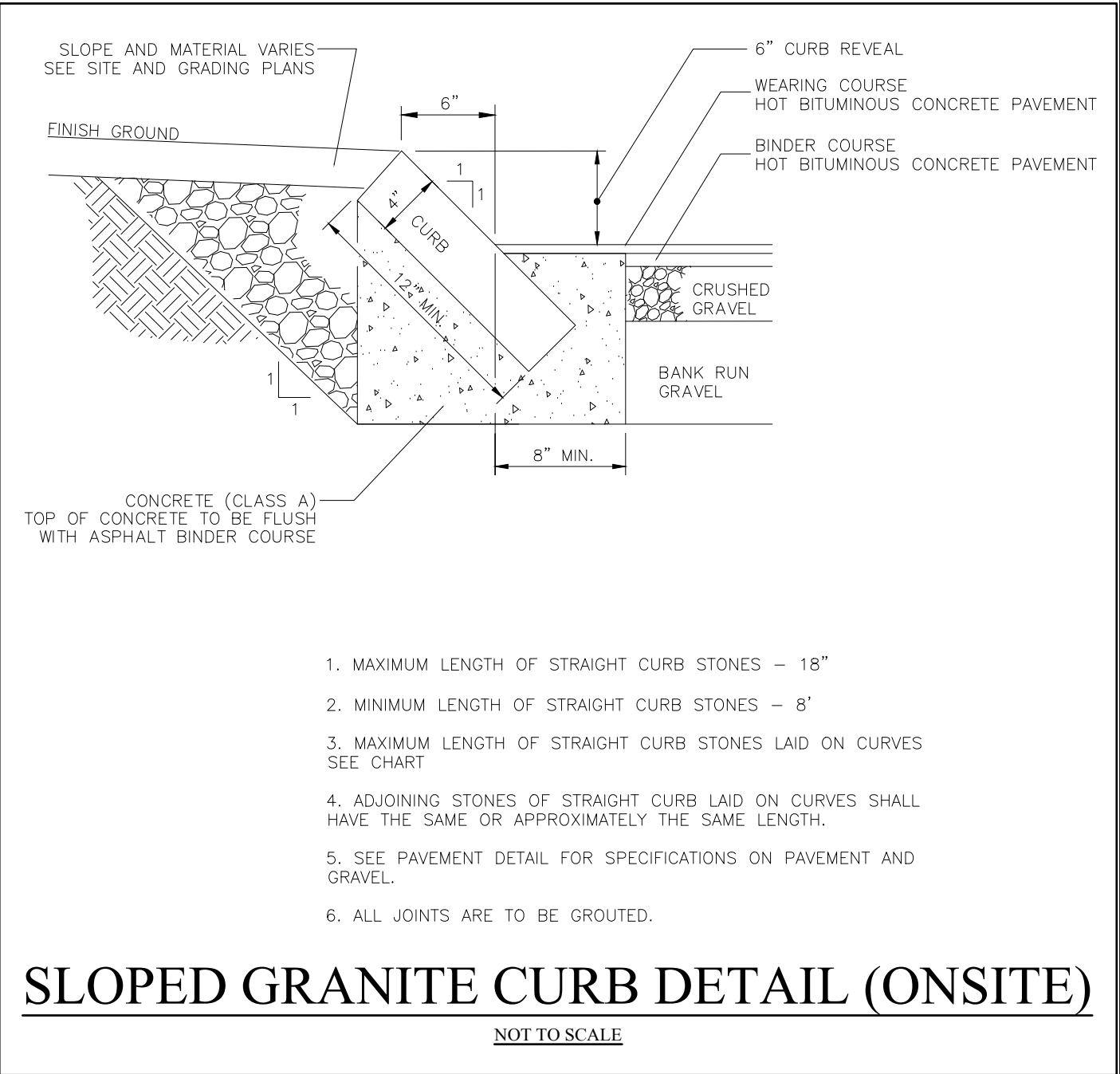
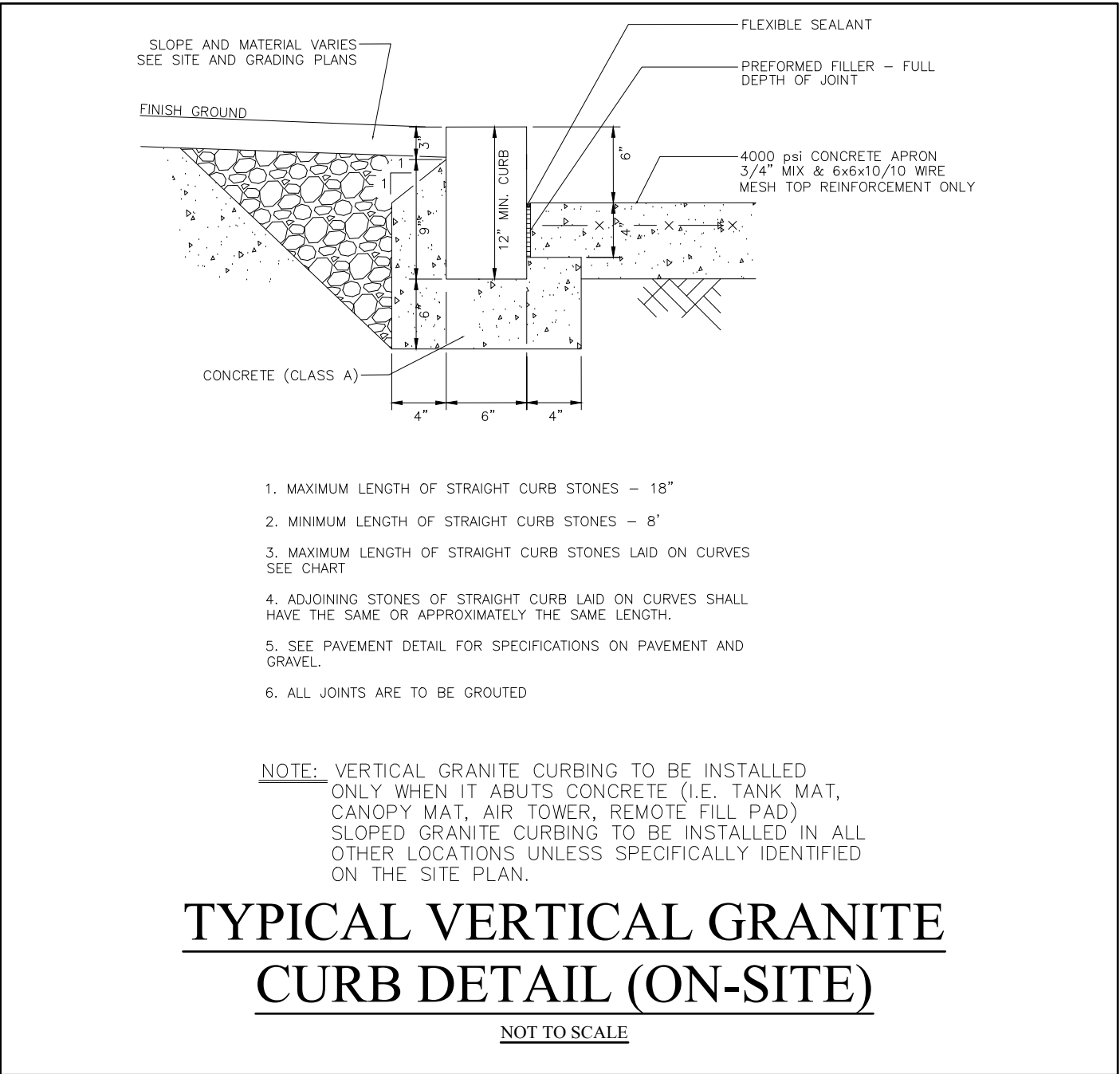
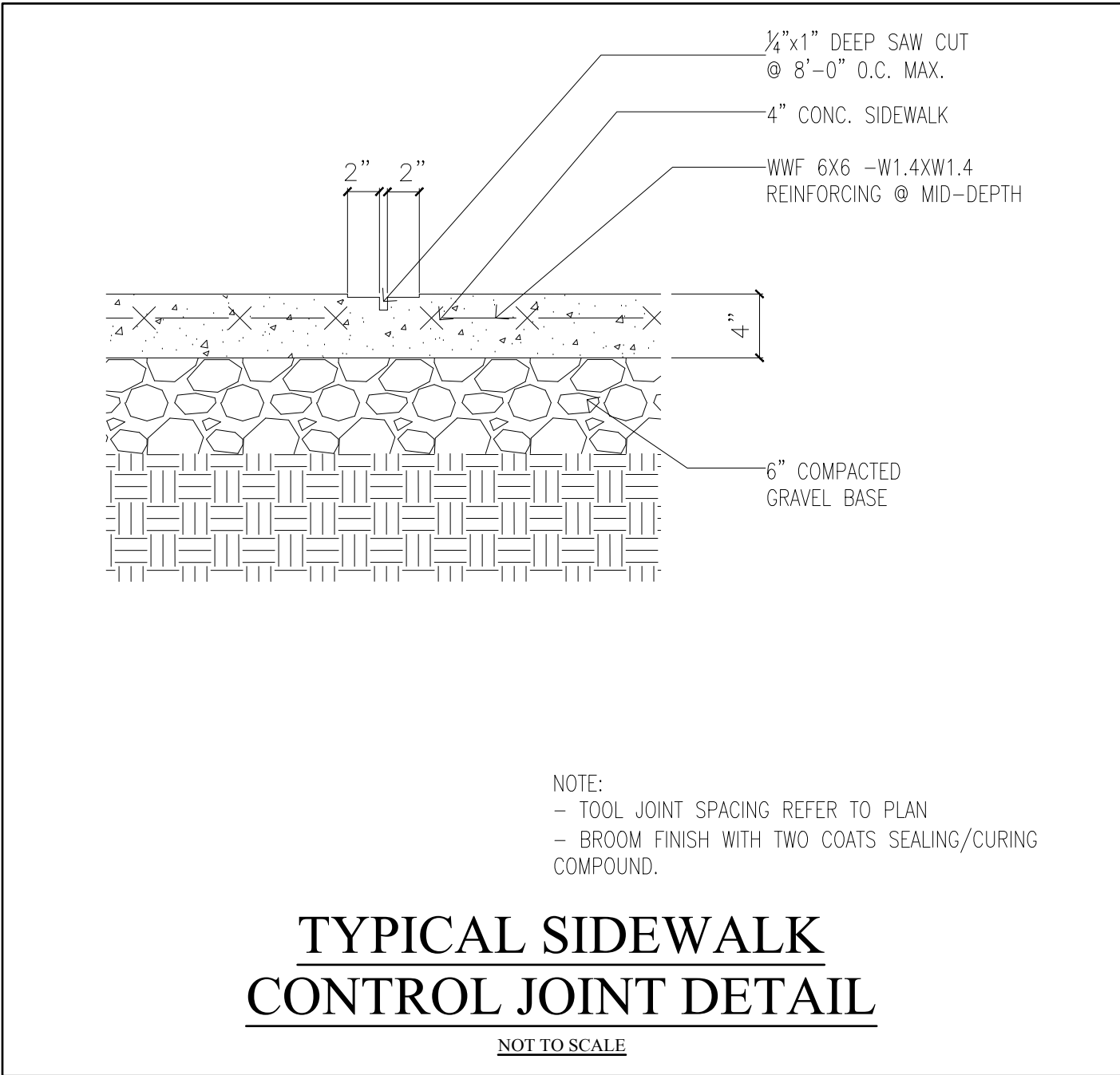
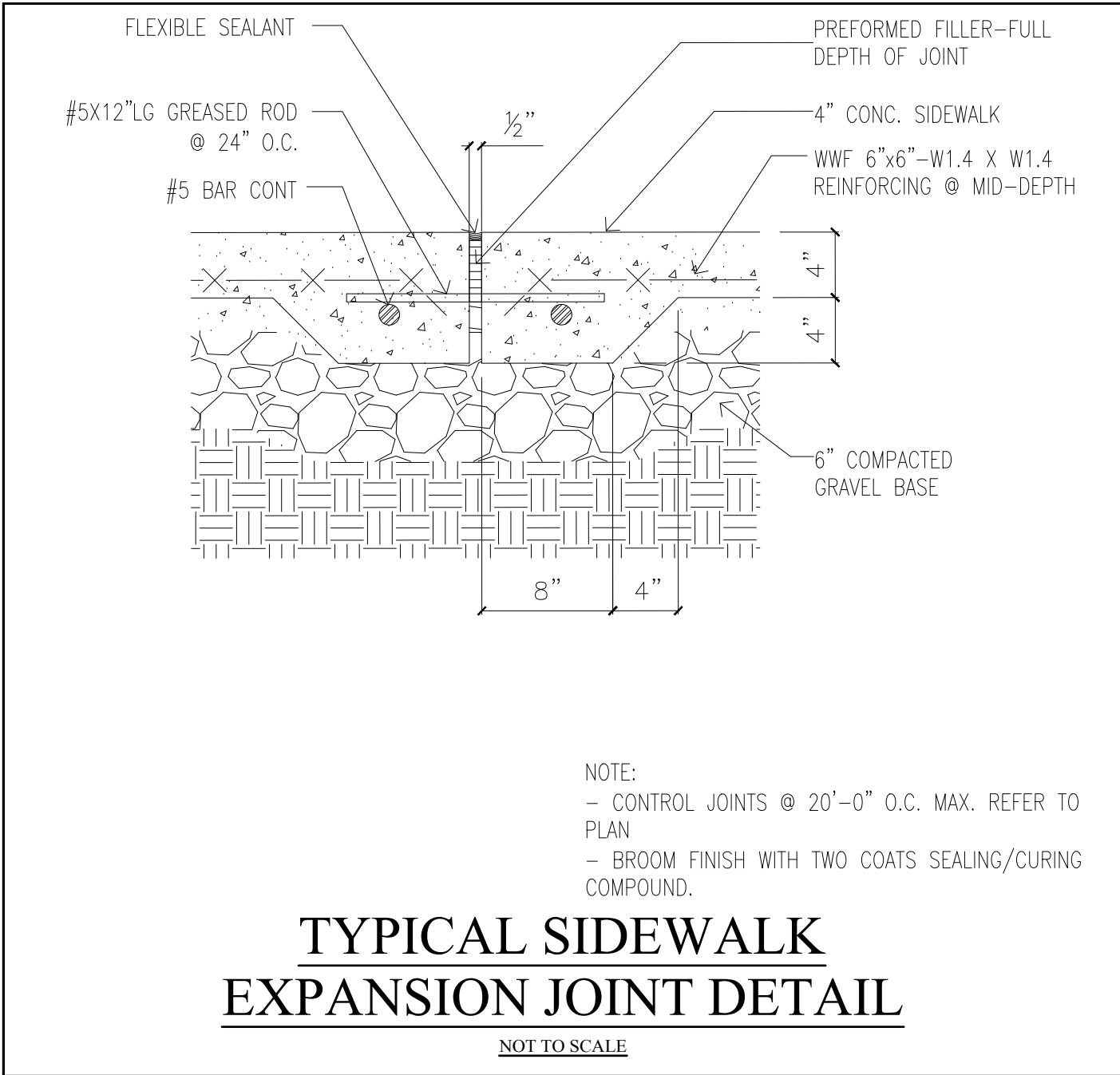
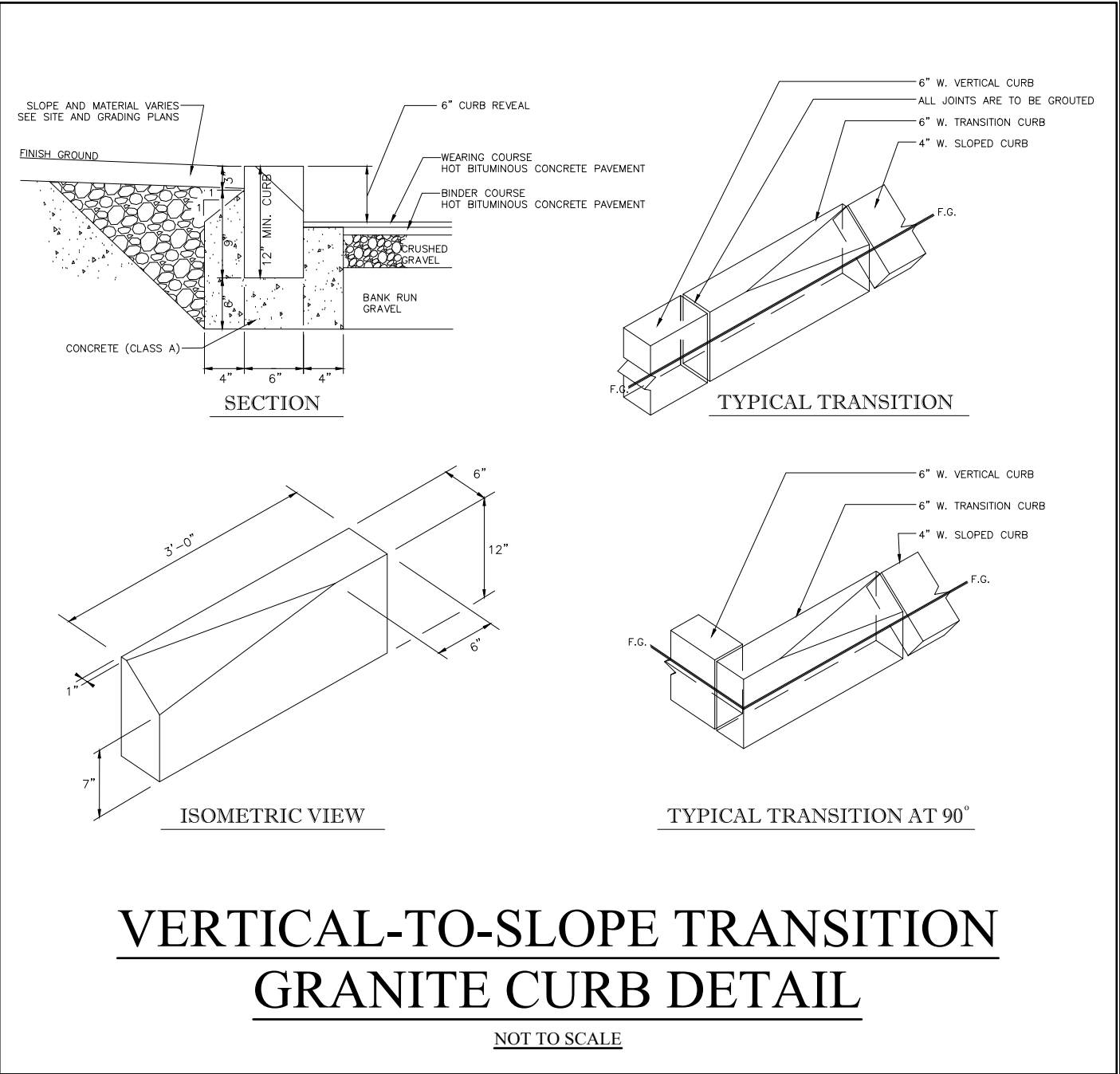
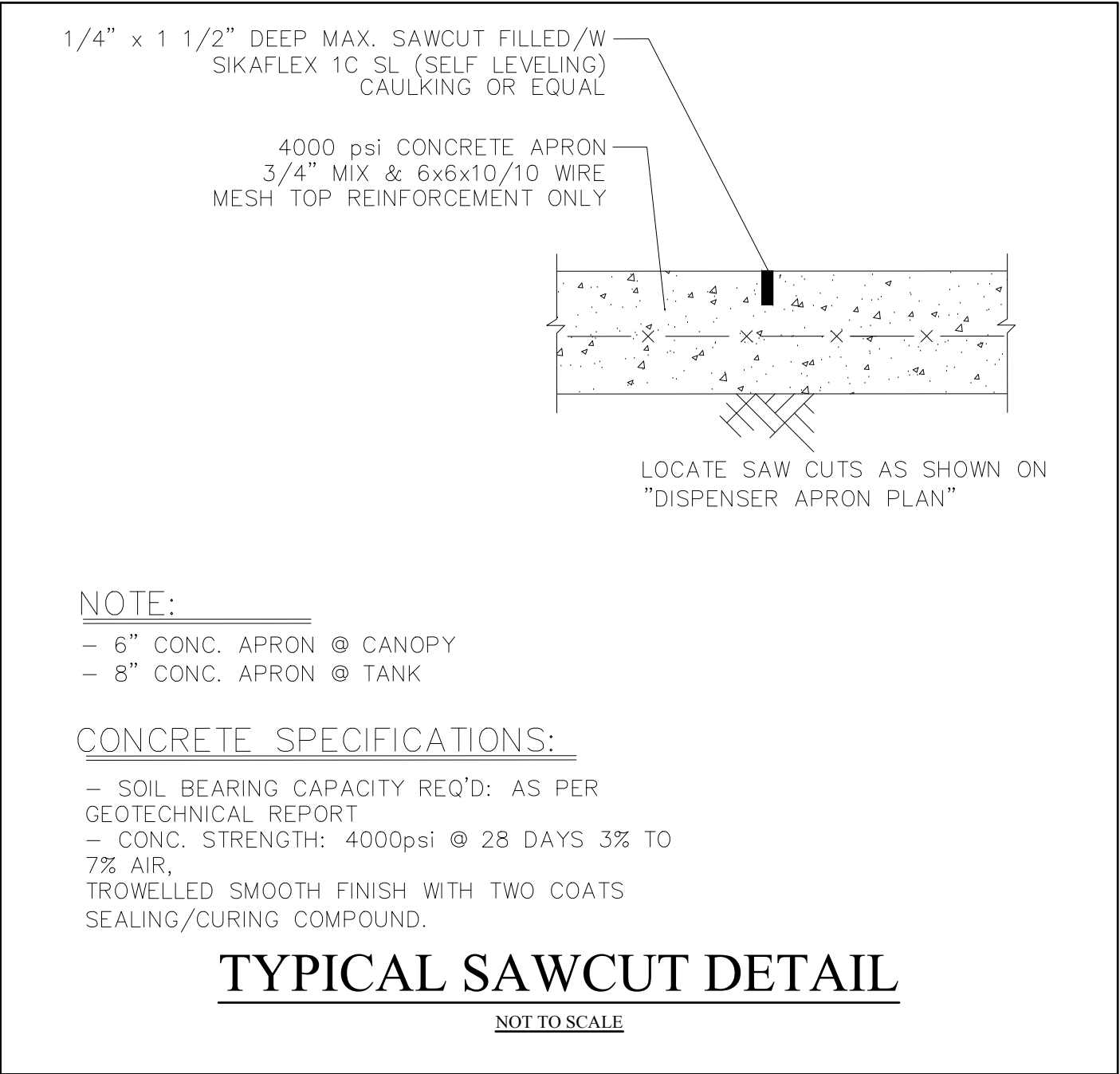
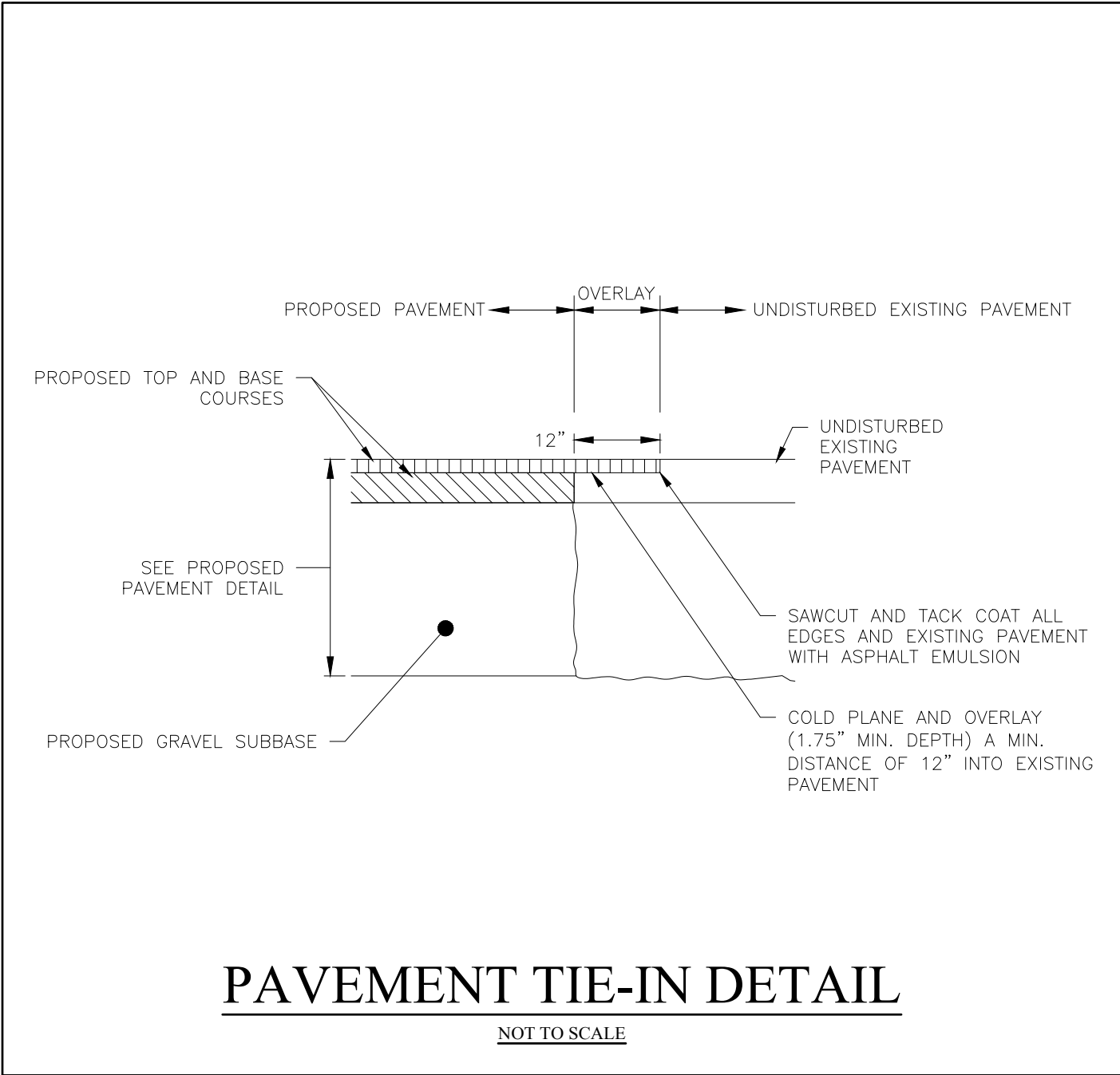
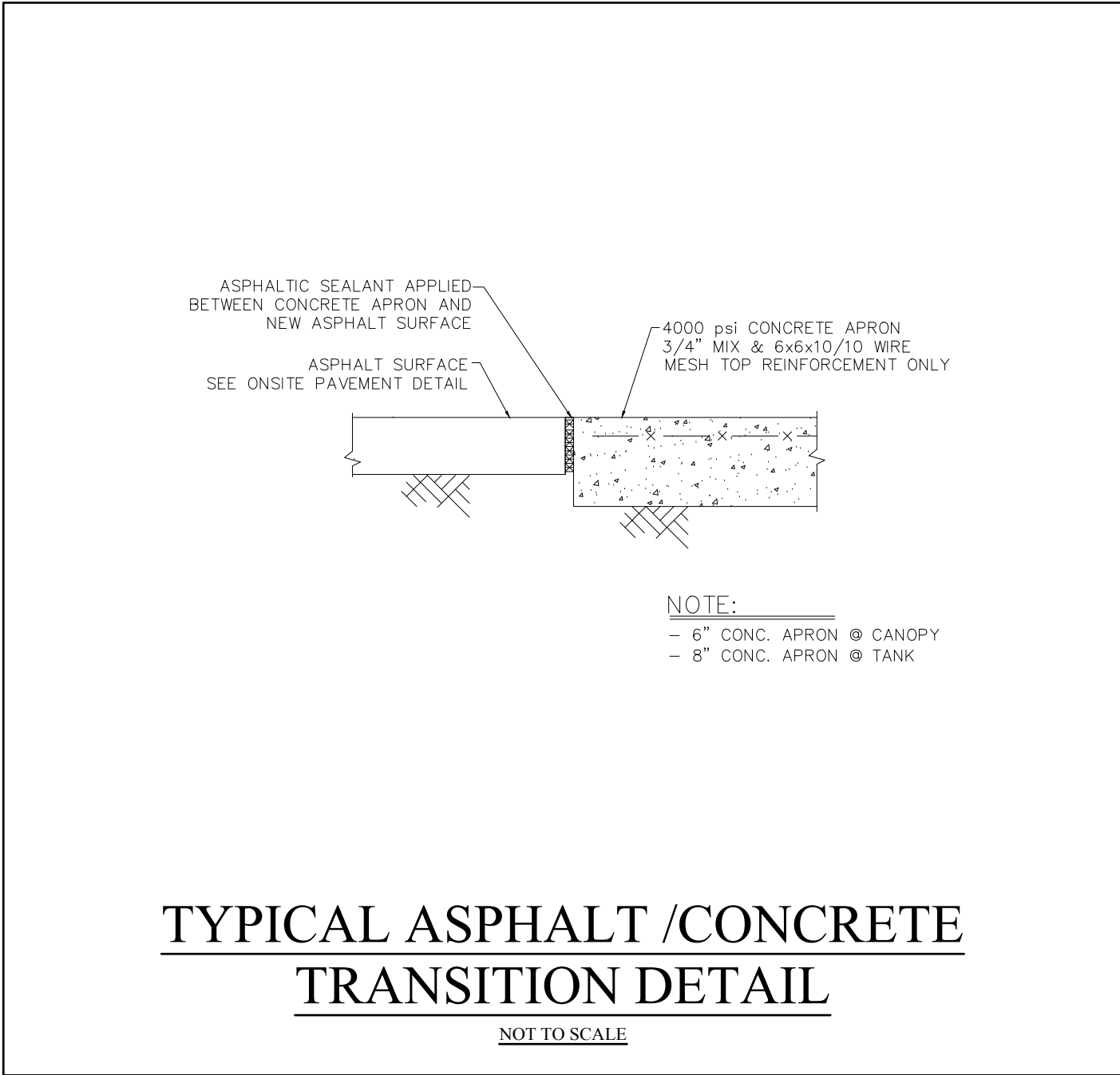
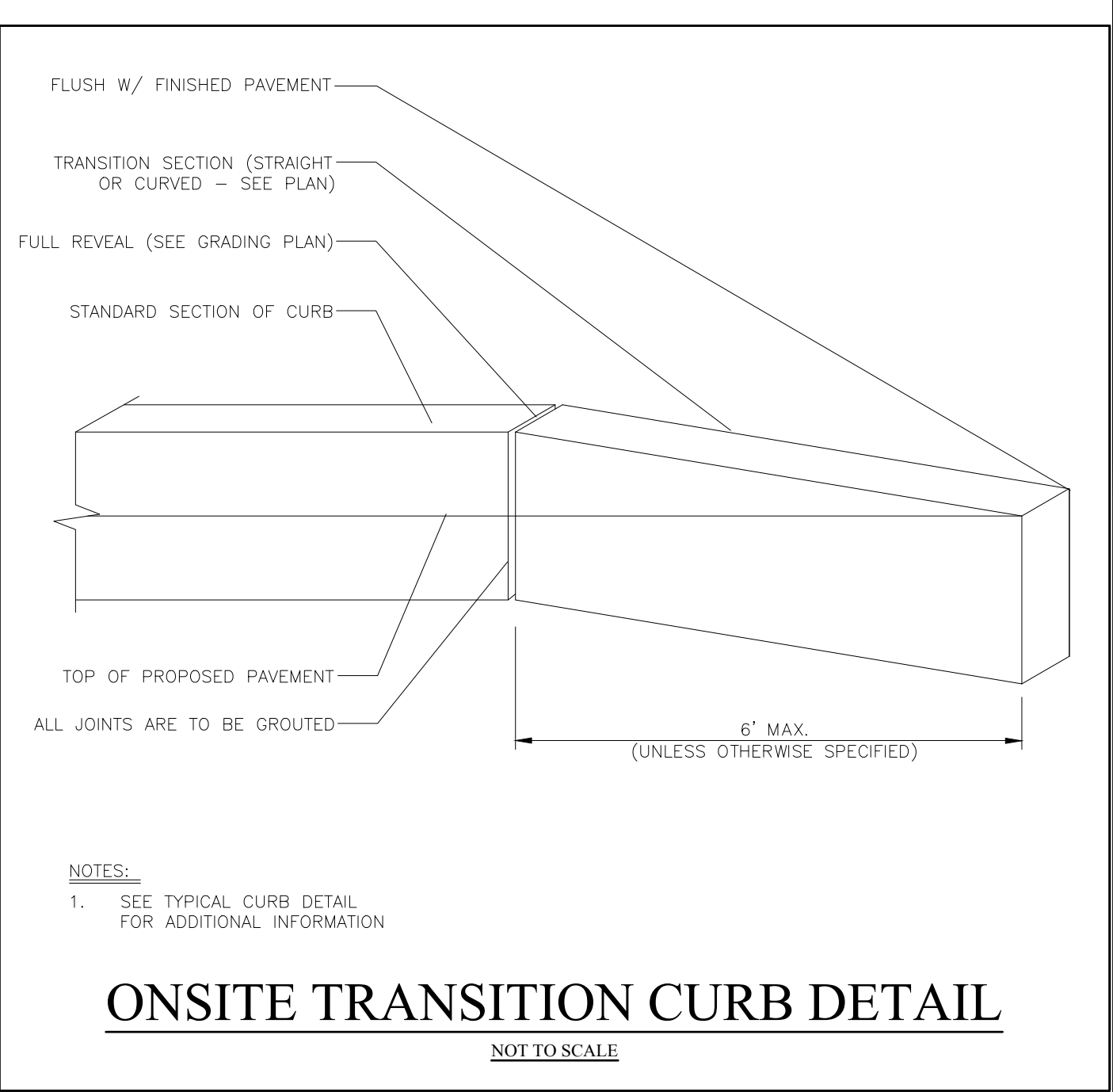
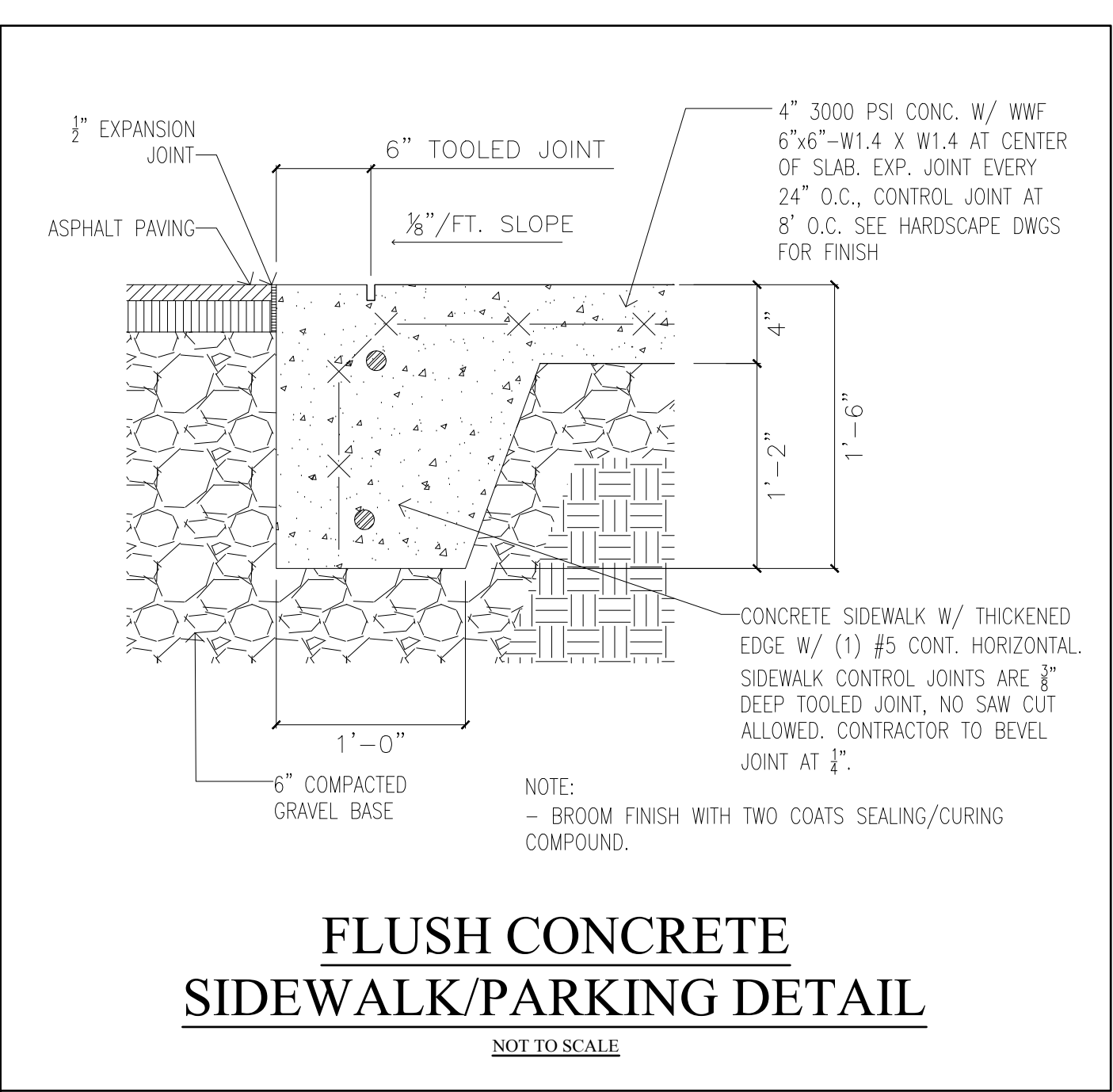
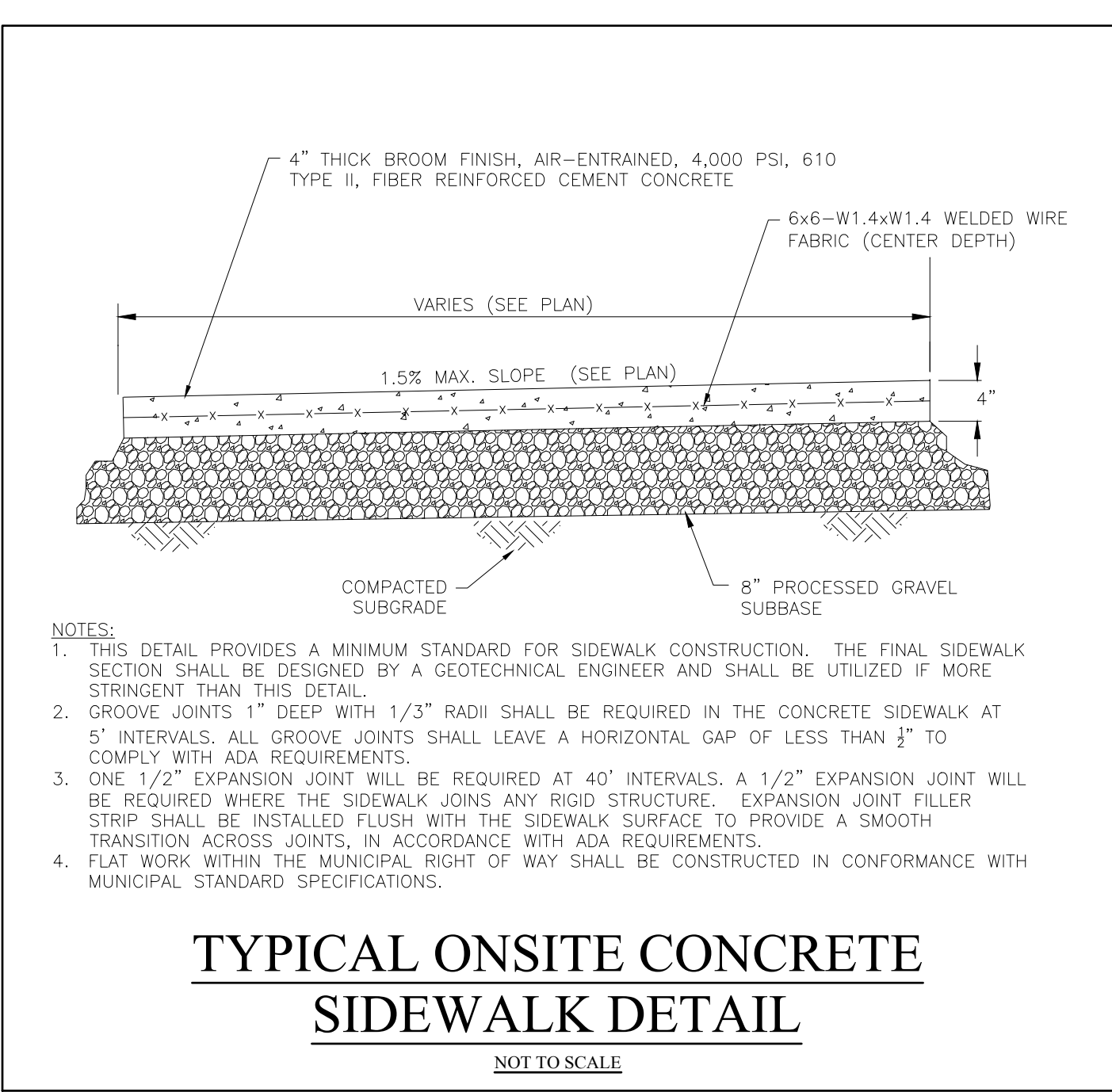
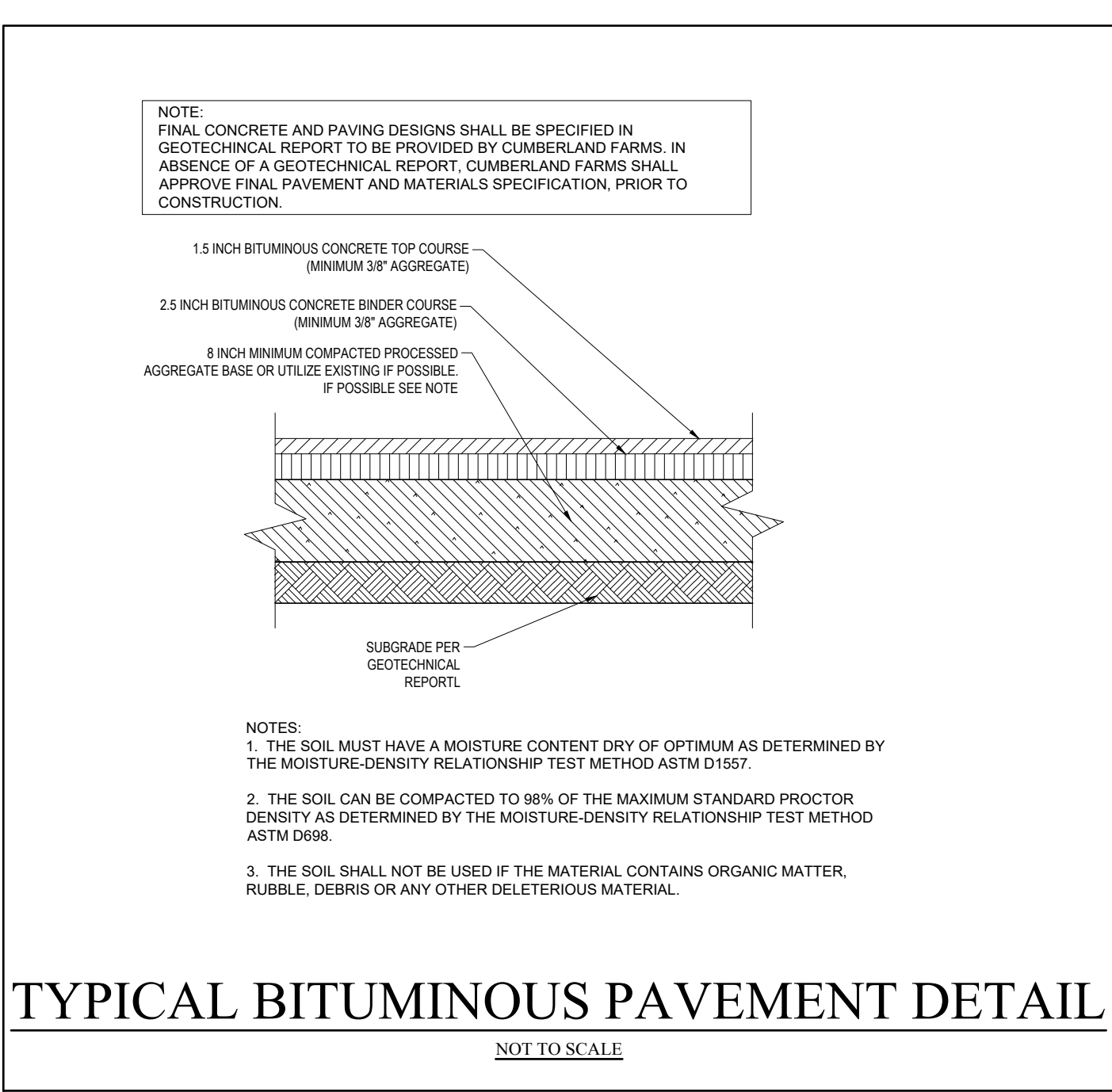
SHEET:

CONSTRUCTION DETAILS

C009.0

DATE:

09/06/2022



NOT FOR CONSTRUCTION

CDG PROJECT #: 21033

REVISIONS:

REV	DATE	COMMENT
1	10/25/22	REVISED DRAINAGE
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
3	02/14/23	ADDED PRIVACY FENCE ALONG PORTION OF REAR LOT LINE
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5	05/04/23	REV PER MASS DOT COMMENTS
6	07/11/23	REV PER MASS DOT COMMENTS
7	10/23/23	REV PER MASS DOT COMMENTS
8		
9		

SEAL:

PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

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PREPARED FOR:

Cumberland Farms

165 FLANDERS ROAD
WESTBOROUGH, MA 01581

PROJECT LOCATION:

**235 MAIN STREET & 5 FAIRLAWN AVE
OXFORD, MA 01540**

**RAZE & REBUILD / ADD LAND
ORACLE #MA0617**

SCALE:

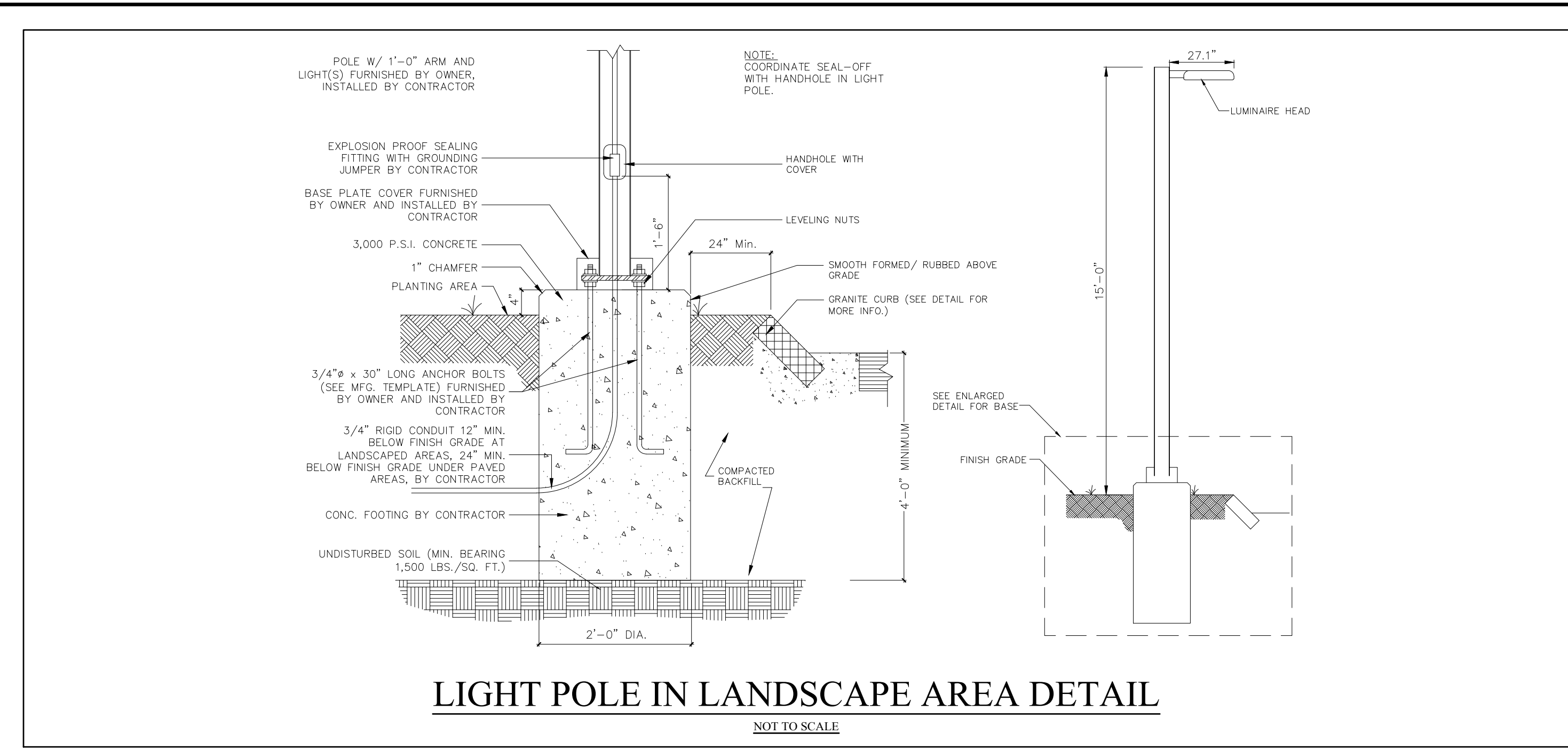
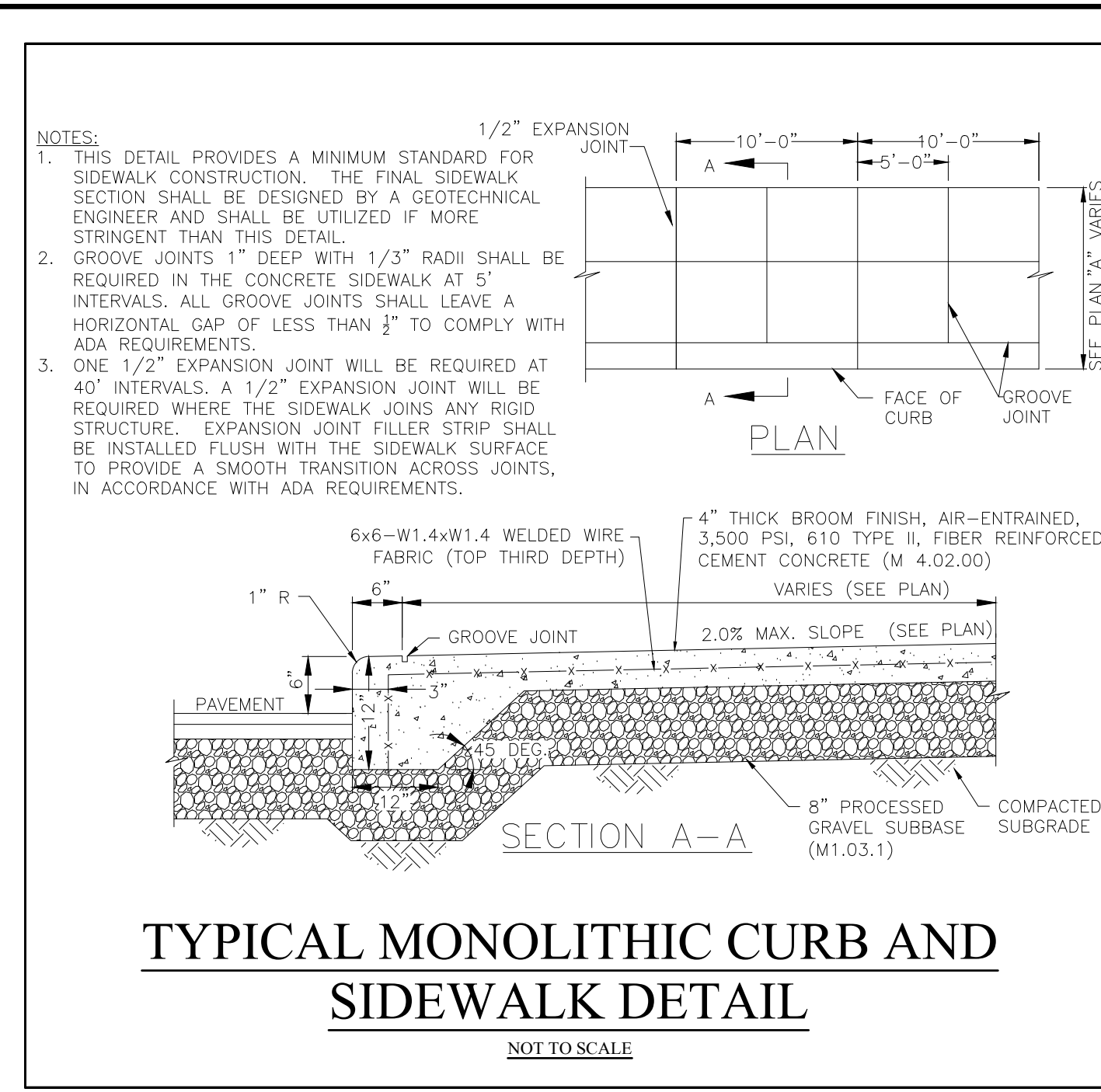
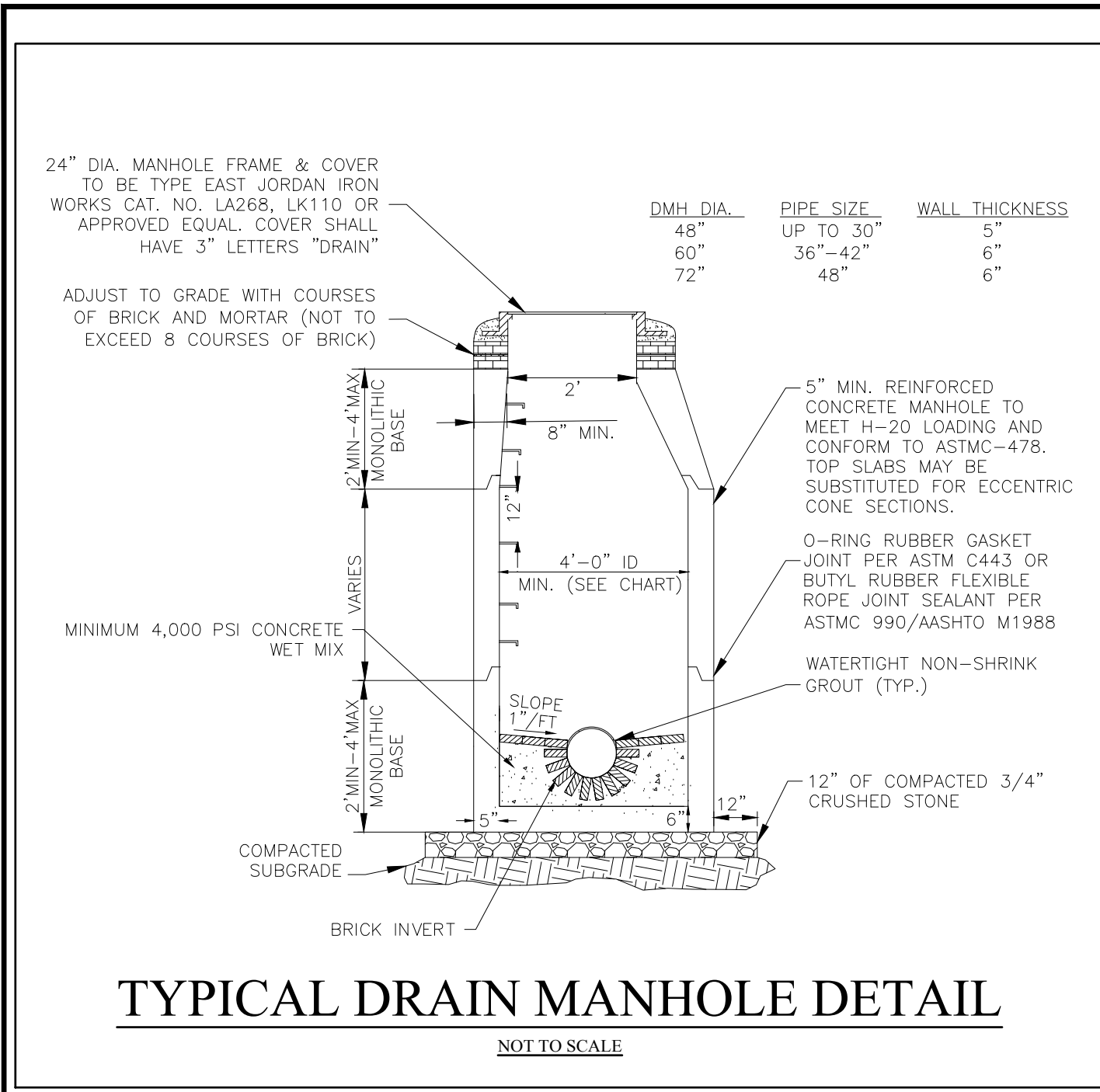
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SHEET:

CONSTRUCTION DETAILS

C009.1

DATE: 09/06/2022



NOT FOR CONSTRUCTION

CDG PROJECT #: 21033

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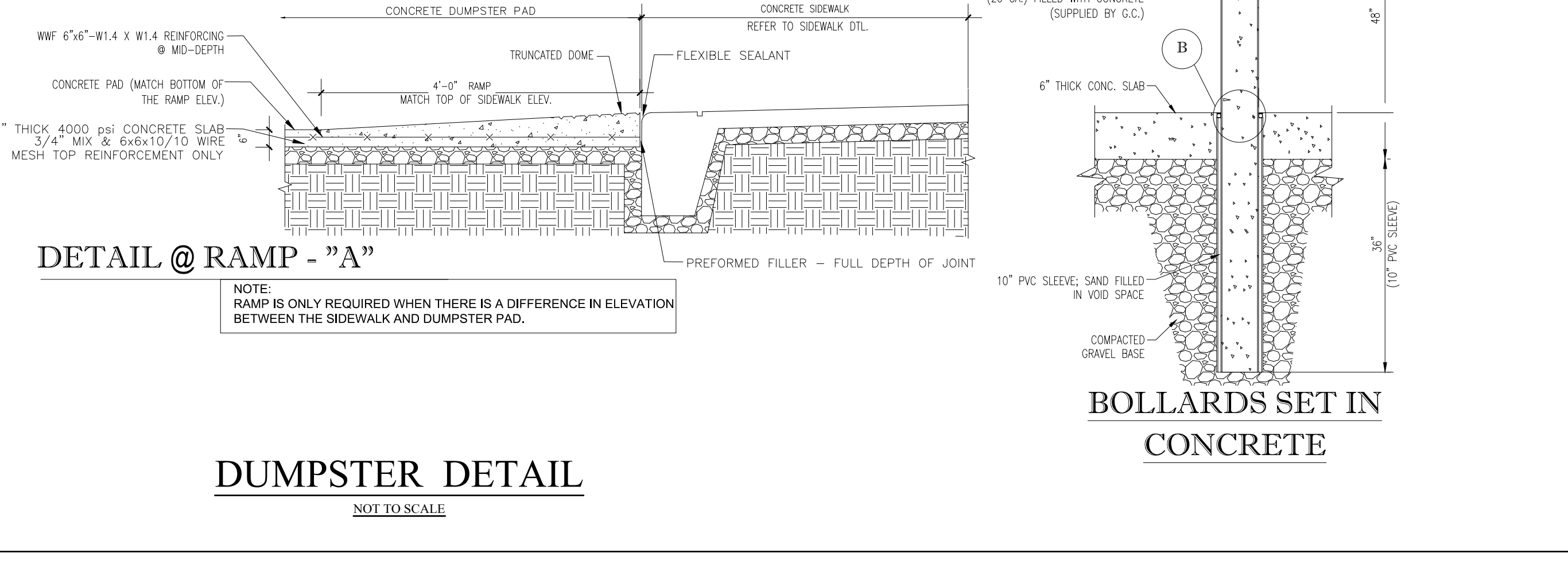
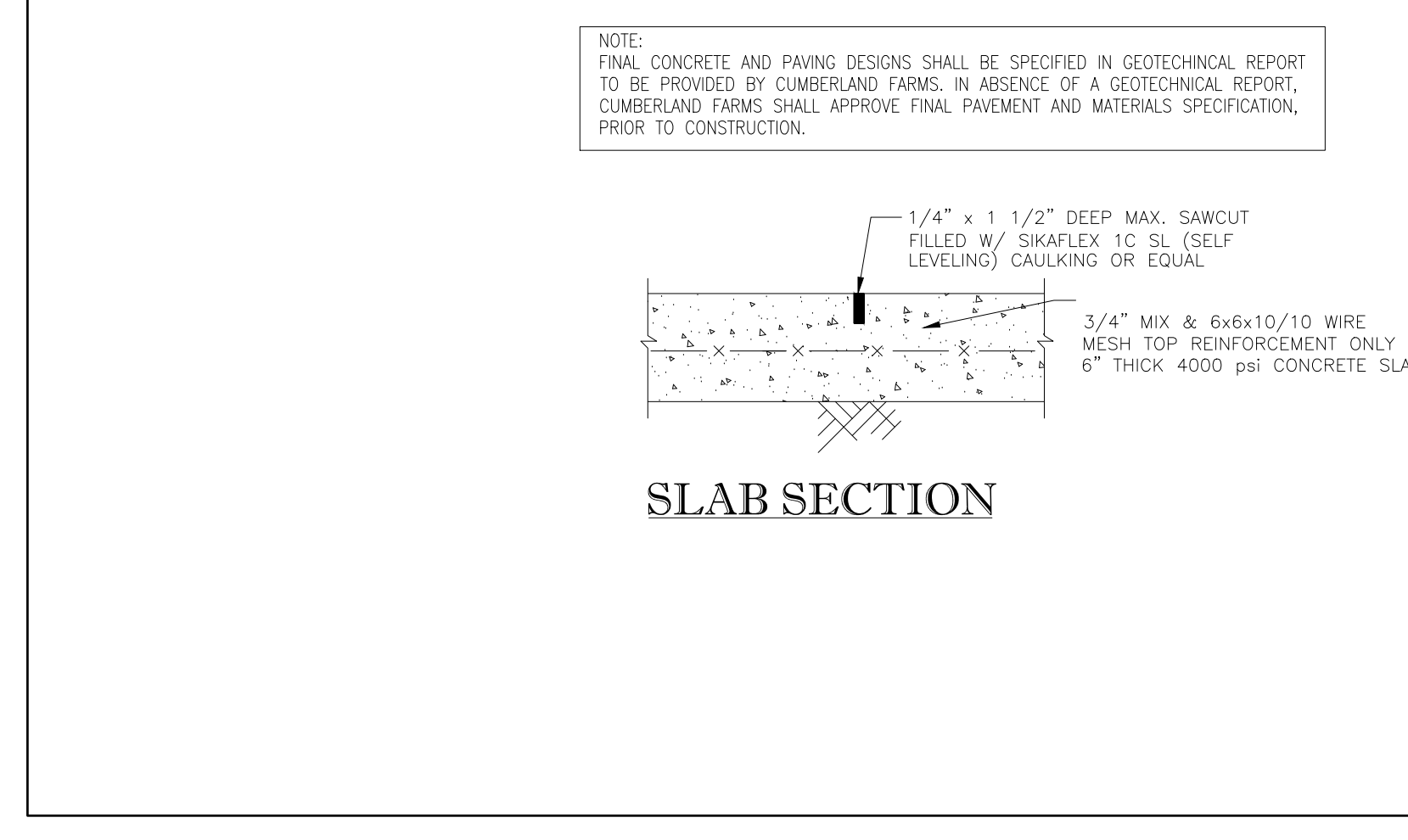
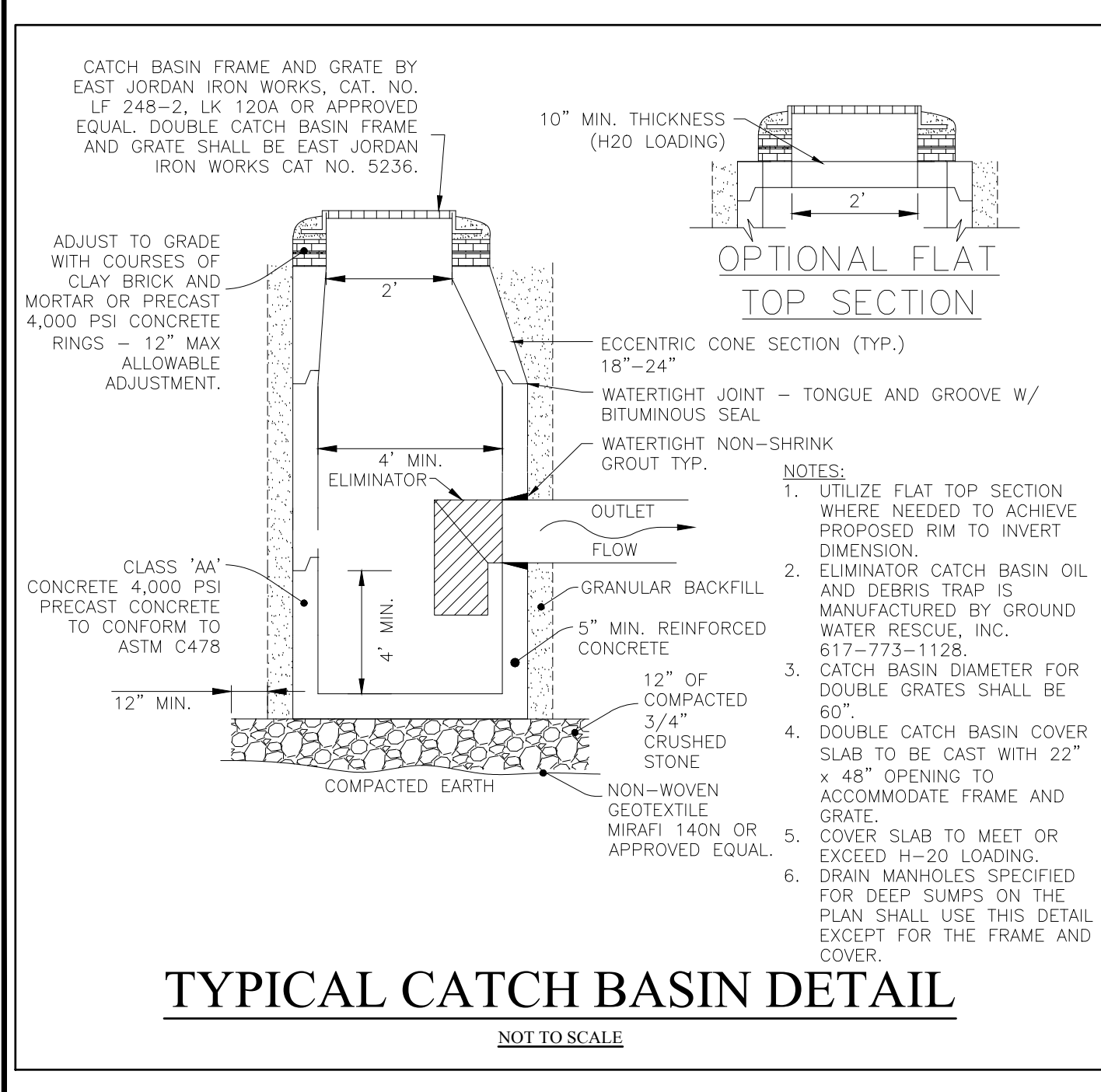
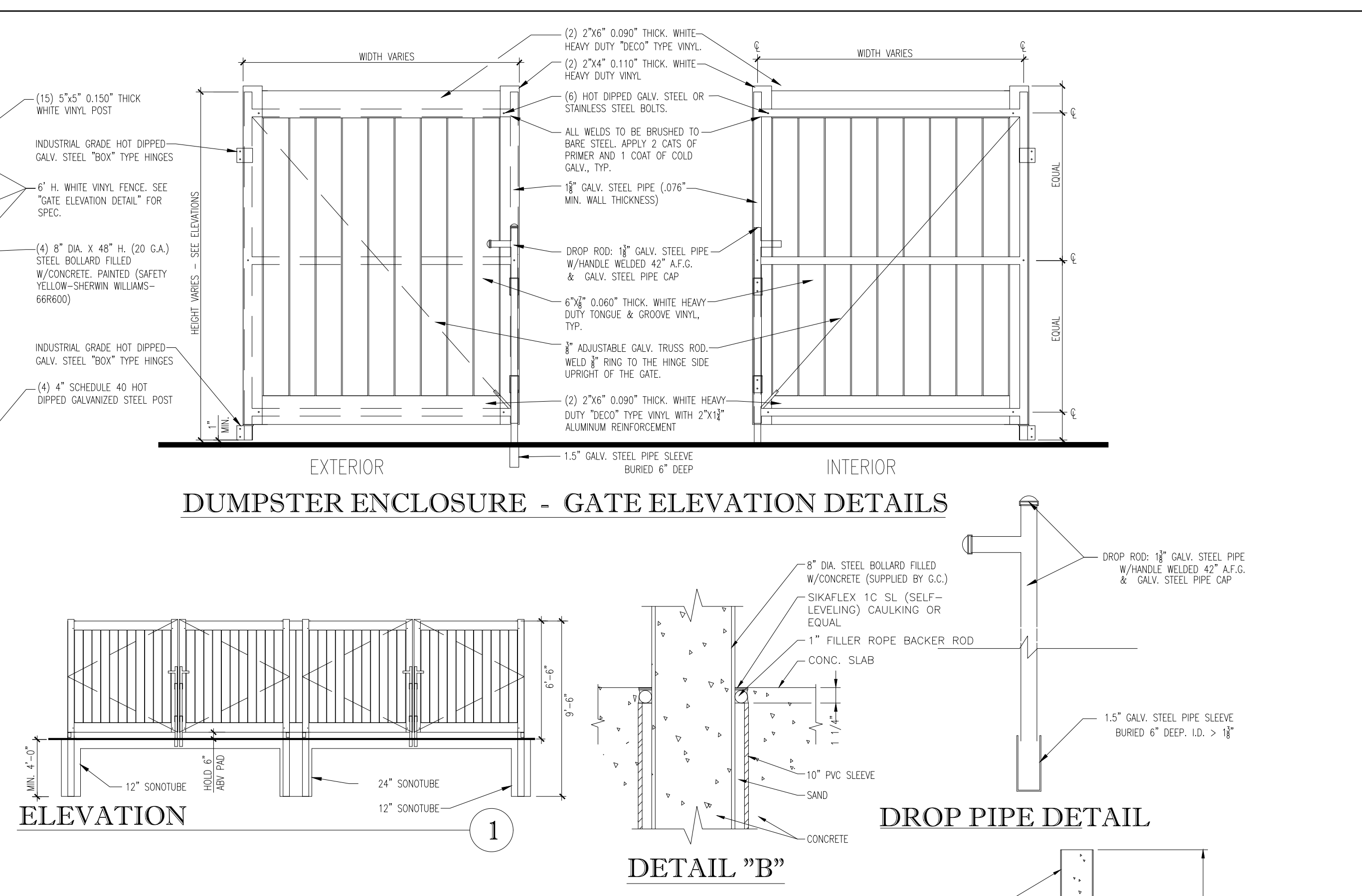
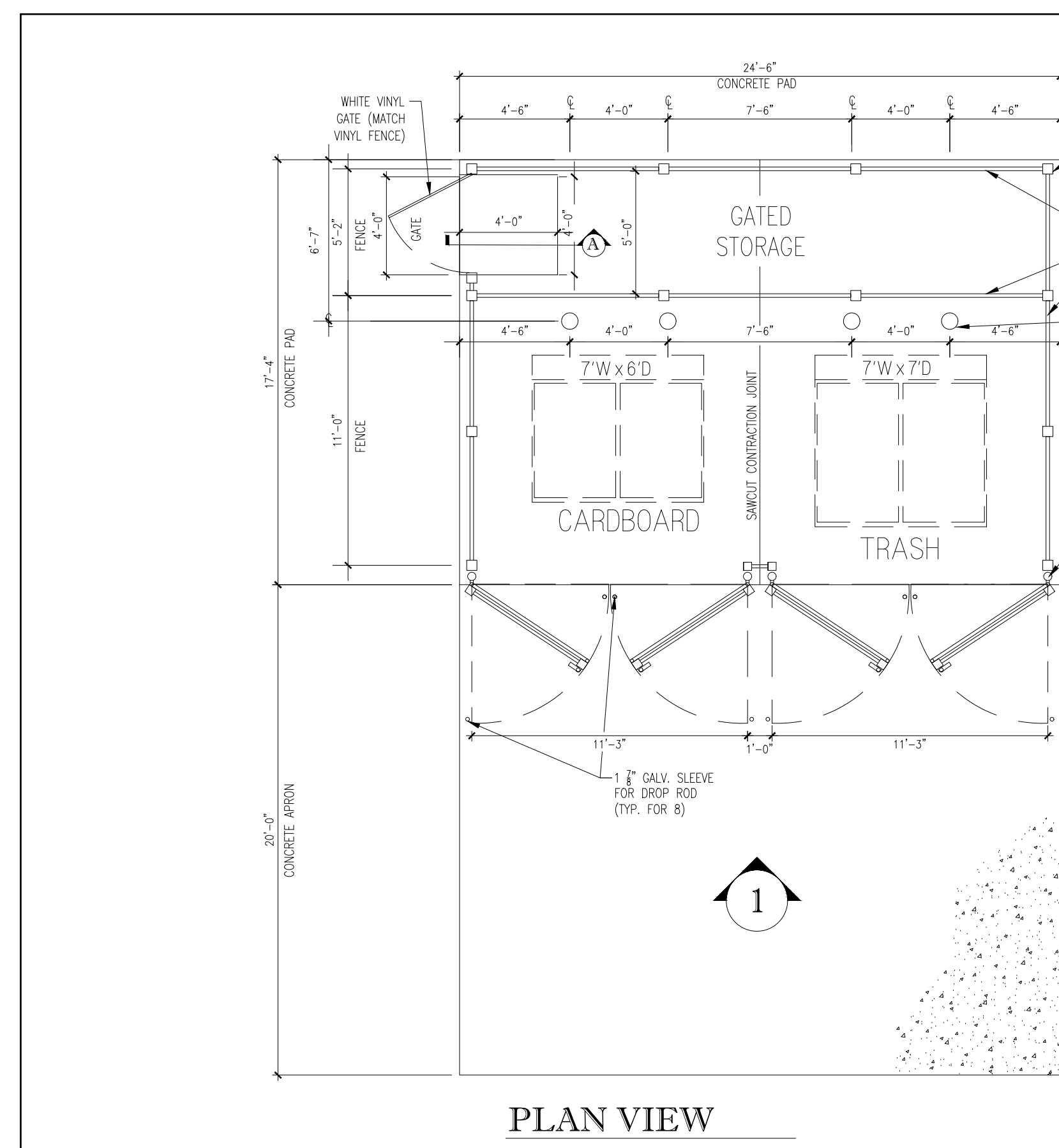
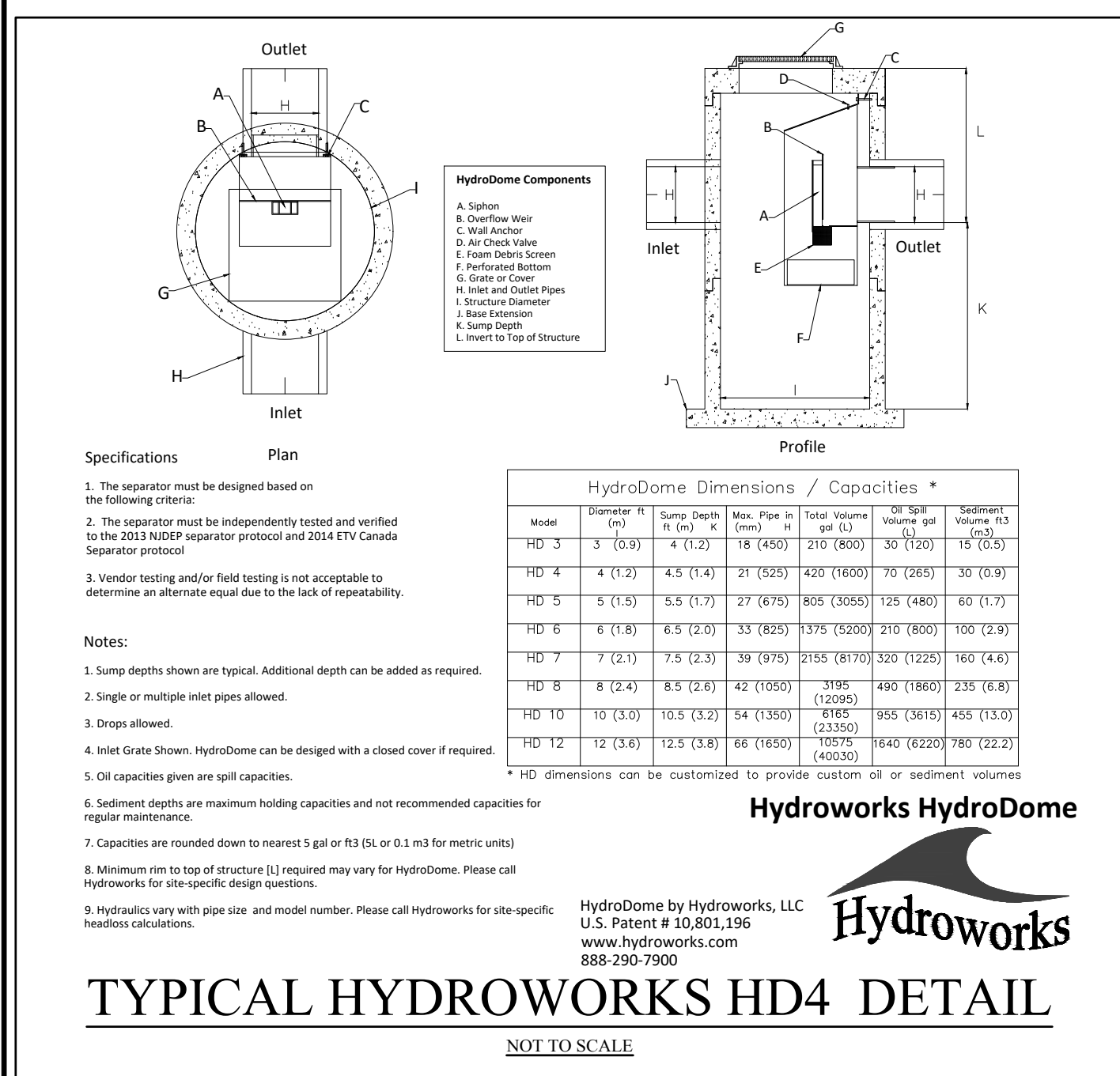
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RAZE & REBUILD / ADD LAND
ORACLE #MA0617

SCALE:

AS NOTED

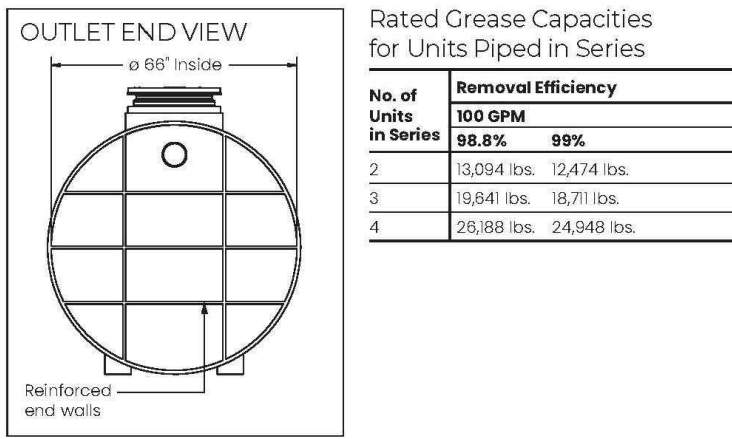
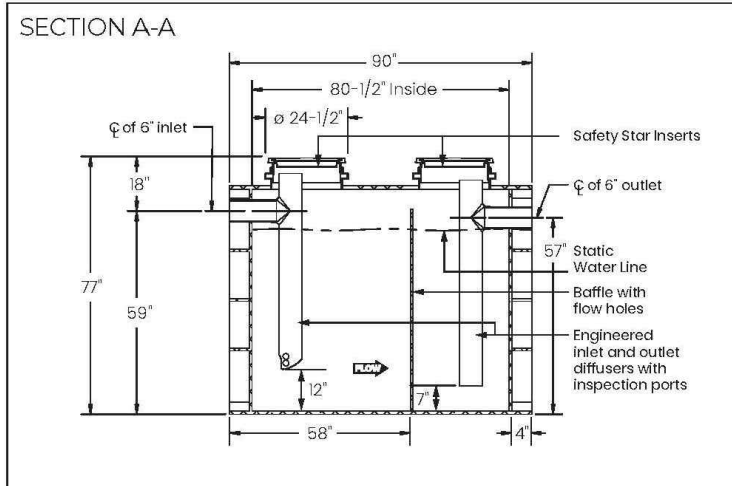
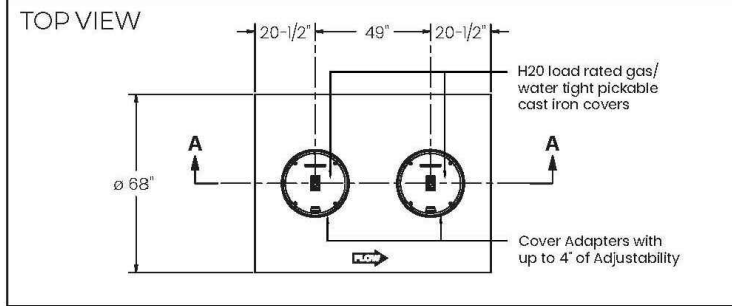
SHEET:

CONSTRUCTION DETAILS
C009.2

DATE: 09/06/2022

SPECIFICATIONS

- NOTES**
- 6" pin end SCH 40 iron/steel
 - 3/8" weight - w/compete covers: 1400 lbs. w/cast iron covers: 1510 lbs.
 - Maximum operating temperature: 50°F continuous
 - Capacity: - Liquid (100 gal); Grease: 6,547 lbs. (854.4 gal); Solids: 103 gal.
 5. Built-in flow control for series installations, only install flow control on the first unit in the series if necessary.
 - For gravity drainage applications only.
 - Do not use for pressure applications.
 - Cover placement allows full access to tank for proper maintenance.
 - Vent not required unless per local code.
 10. If required inlet and outlet offsets with inspection ports are removable to inspect / clean piping. For series installations, the top of the inlet offset on the first unit in the series must be specified.
 11. Integral air relief / Anti-siphon / Sampling access.
- ENGINEER SPECIFICATION GUIDE**
- Schier Greed Basin® grease interceptor model # GB-1000 shall be (define your head and made in USA of seamless, molded polyethylene with minimum 3/4" uniform wall thickness. Interceptor shall be furnished for two-stage installation with field adjustable riser system. Interceptor flow rate shall be 100 GPM. Interceptor grease capacity shall be 6,547 lbs. Cover shall provide water/gas-tight seal and have minimum 10,000 lbs. load capacity.
- CERTIFIED PERFORMANCE**
- Greed Basin® hydromechanical grease interceptors are third party performance tested and listed by (APWC to ASME A412.1.3 and CSA B481) grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.



Rated Grease Capacities for Units Piped in Series

No. of Units in Series	Removal Efficiency 100 GPM	99%
2	13,094 lbs. 12,474 lbs.	
3	19,641 lbs. 18,711 lbs.	
4	26,188 lbs. 24,948 lbs.	

SCHIER MODEL NUMBER: **GB-1000** DESCRIPTION: 100 GPM Polyethylene Grease Interceptor - 100 gallon capacity

LIFETIME GUARANTEED

PART #: 4080-002-01 DWG BY: B. Kover DATE: 10/02/2019 REV: 14/1/2019

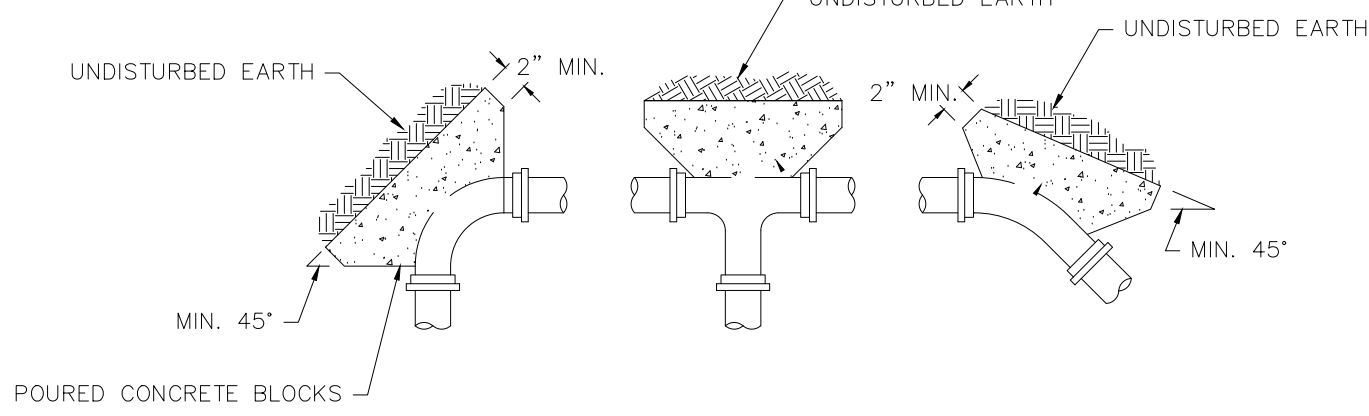
1500 Riverland Street | Glenview, IL 60015 | Tel: 815-334-3300 | www.schierproducts.com

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page 4 of 4

GREASE TRAP DETAIL

NOT TO SCALE

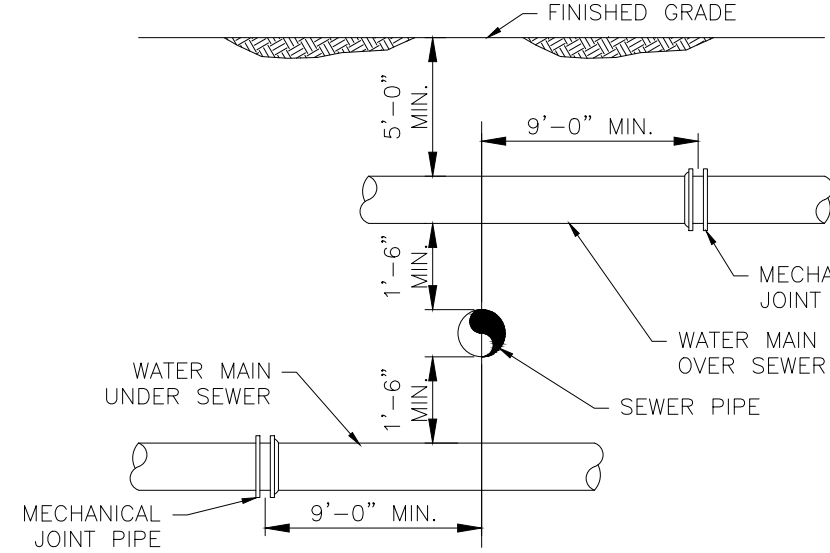


NOTES:

- SPECIFIC THRUST BLOCK DESIGN SHALL CONFORM TO AWWA GUIDELINES.
- PLACE 4 mil. POLYETHYLENE BETWEEN CONCRETE AND FITTING (CONCRETE SHALL NOT INTERFERE WITH JOINT).
- MINIMUM CONCRETE THICKNESS SHALL BE 12 INCHES.
- THRUST BLOCK ORIENTATION SHALL BE SUCH THAT THE CENTER OF THE FITTING CORRESPONDS WITH THE CENTER OF THE THRUST BLOCK.
- THE MINIMUM ALLOWABLE ANGLE (EITHER VERTICAL OR HORIZONTAL) SHALL BE 45 DEGREES.

TYPICAL THRUST BLOCK DETAIL

NOT TO SCALE

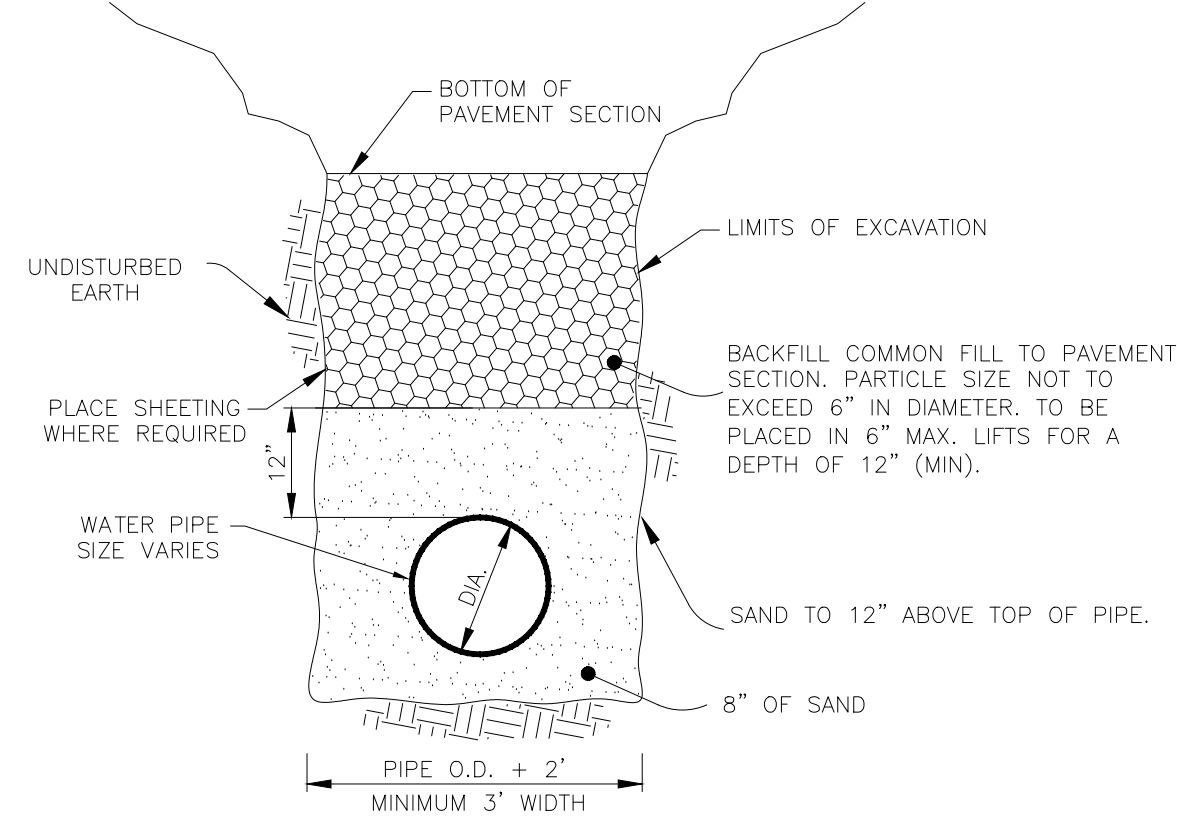


NOTES:

- SEWERS SHALL BE KEPT REMOTE FROM WATER SUPPLY PIPING AND STRUCTURES. WHEREVER FEASIBLE, SEWERS SHOULD BE LAID AT A MINIMUM HORIZONTAL DISTANCE OF 10 FEET FROM WATER MAINS. IF LOCAL CONDITIONS PREVENT THIS, THE WATER MAIN SHOULD BE LAID IN A SEPARATE TRENCH, AND THE ELEVATIONS OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN.
- WHENEVER SEWERS MUST CROSS UNDER WATER MAINS, THE CROWN OF THE SEWER SHOULD BE PLACED A MINIMUM OF 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IN ADDITION, THE WATER MAIN MUST BE CONSTRUCTED WITH ONE FULL LENGTH OF PIPE CENTERED ABOVE THE CROSSING. THE WATER PIPE SHALL HAVE MECHANICAL JOINTS FOR A MINIMUM DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING.
- WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER AND THE SEWER PIPING SHALL BE CONSTRUCTED SUCH THAT THE PIPE JOINTS ARE PLACED AS FAR AWAY FROM THE CROSSING AS POSSIBLE AND THE PIPE CROSSING SHALL BE SLEEVED A DISTANCE OF 10 FEET ON ALL SIDES OF THE CROSSING.

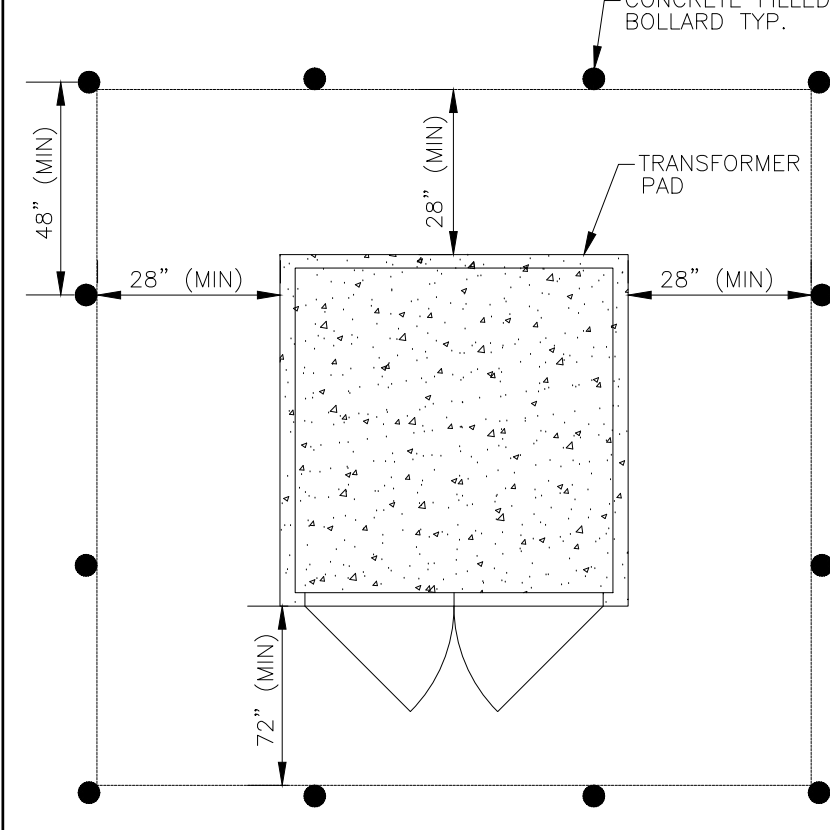
WATER/SEWER CROSSING DETAIL

NOT TO SCALE



TYPICAL WATER TRENCH DETAIL

NOT TO SCALE

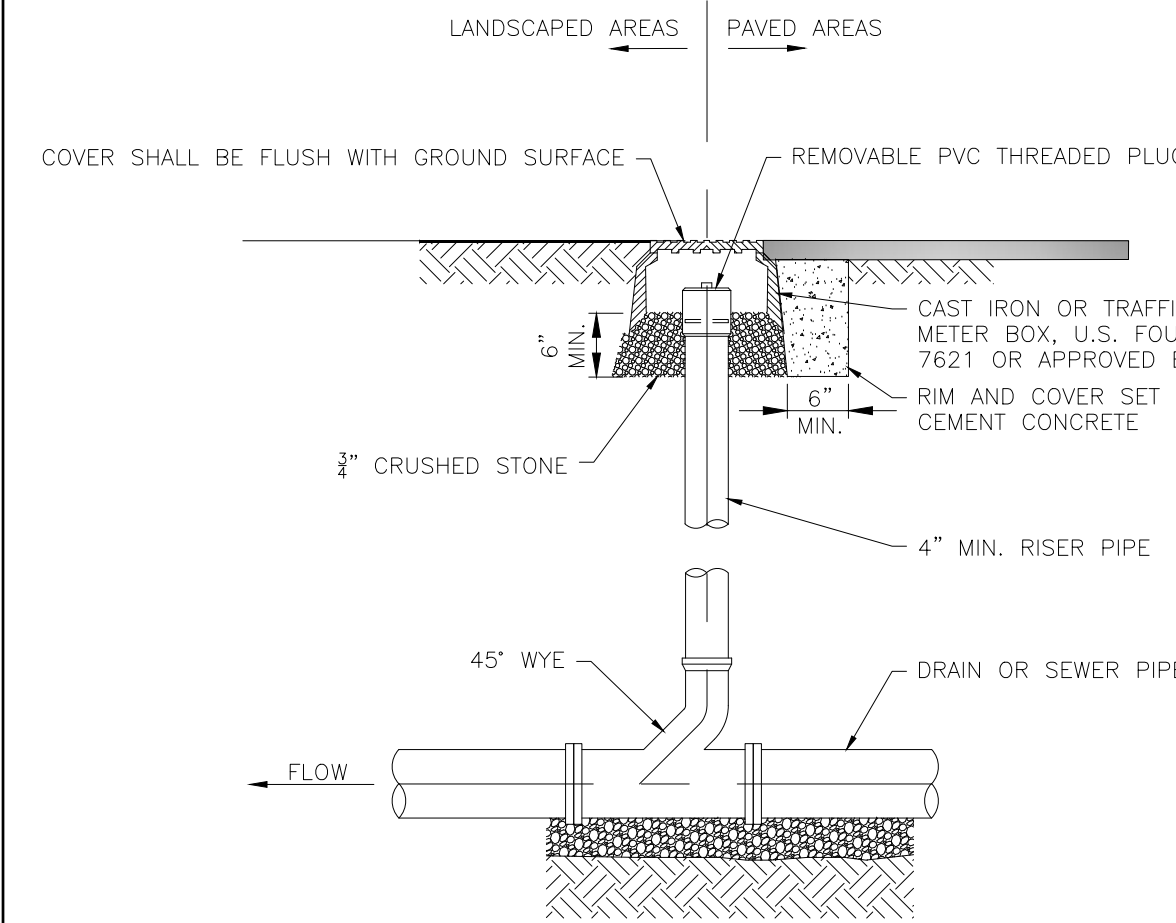


NOTES:

- FINAL TRANSFORMER PAD SIZE TO BE AS DETERMINED BY THE UTILITY COMPANY.
- TRANSFORMER PAD SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
- BOLLARDS SHALL BE 6" SCHEDULE 40 GALVANIZED STEEL 5' EXPOSED HEIGHT, UNLESS OTHERWISE REQUIRED BY THE UTILITY COMPANY (REFER TO "PAD BOLLARD" DETAIL FOR ADDITIONAL INFORMATION ON BOLLARD CONSTRUCTION).

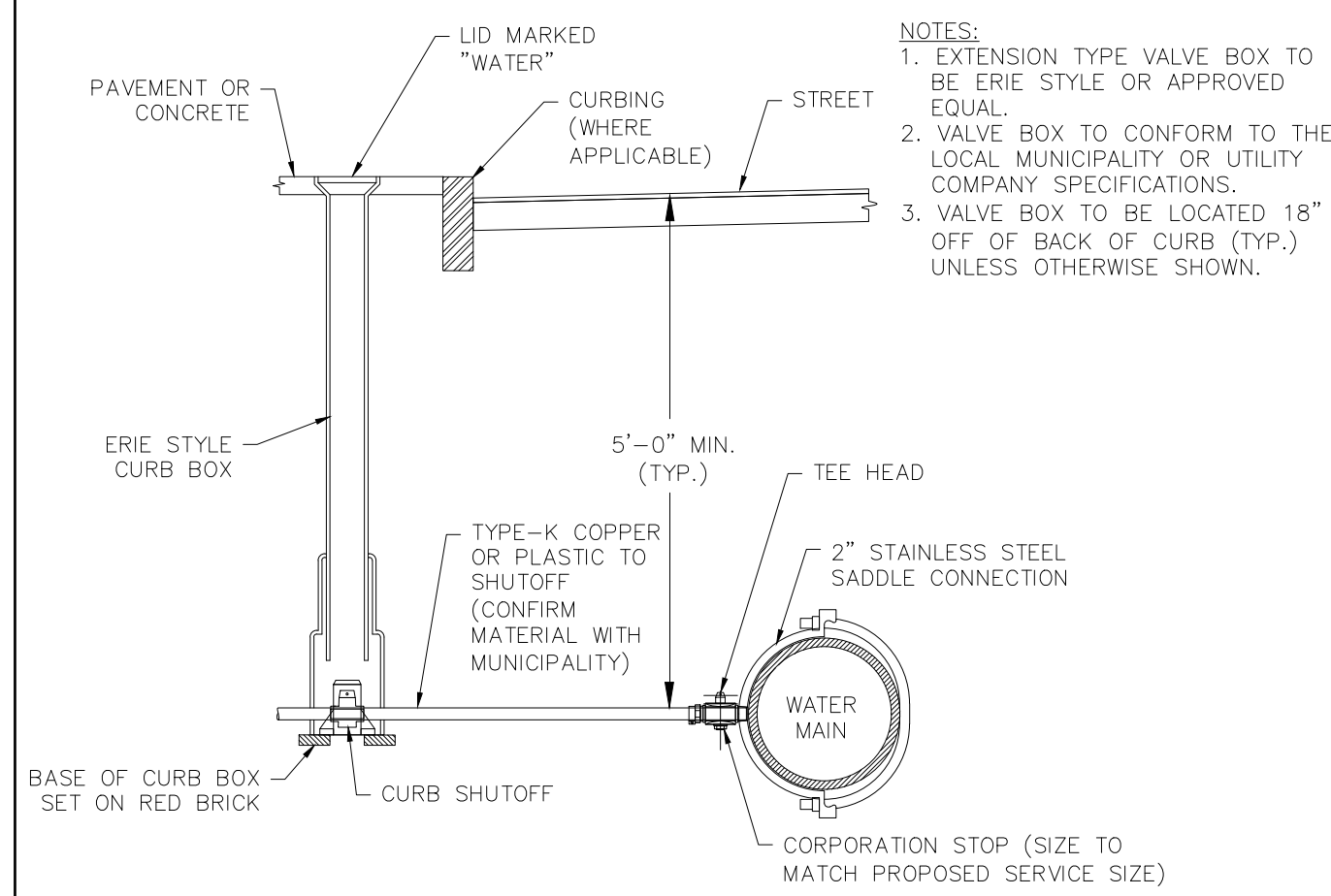
TYPICAL TRANSFORMER PAD DETAIL

NOT TO SCALE



TYPICAL CLEANOUT DETAIL

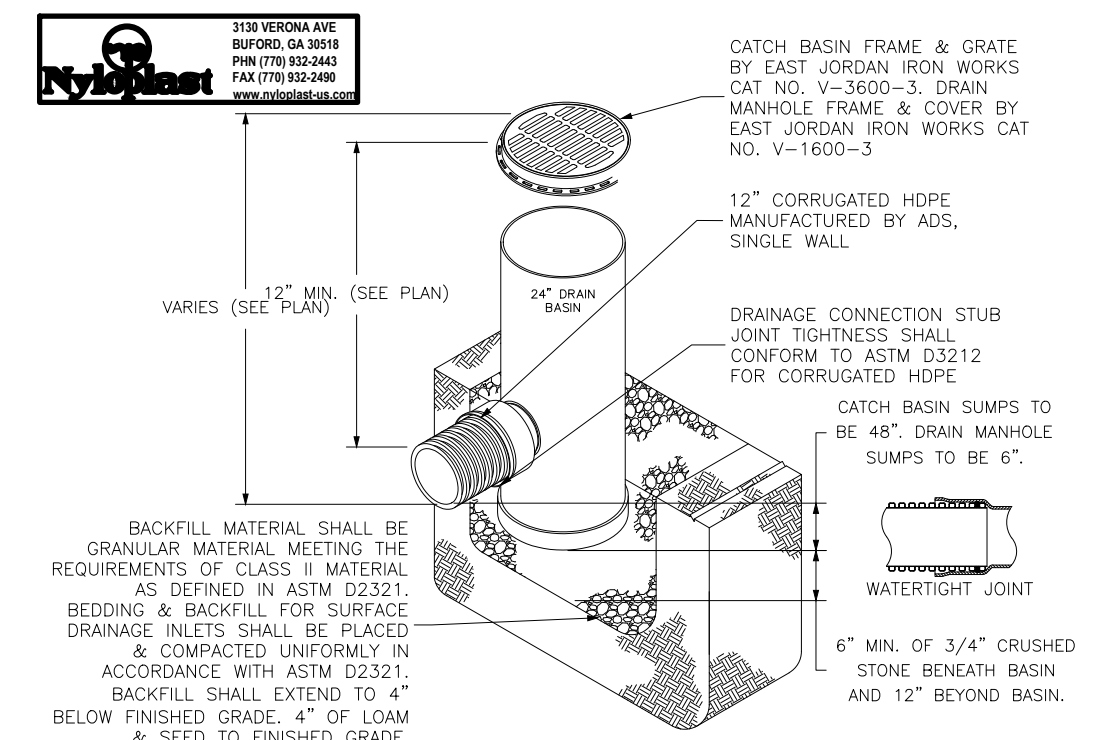
NOT TO SCALE



- NOTES:**
- EXTENSION TYPE VALVE BOX TO BE ERIE STYLE OR APPROVED EQUAL.
 - VALVE BOX TO CONFORM TO THE LOCAL MUNICIPALITY OR UTILITY COMPANY SPECIFICATIONS.
 - VALVE BOX TO BE LOCATED 18" OFF OF BACK OF CURB (TYP.) UNLESS OTHERWISE SHOWN.

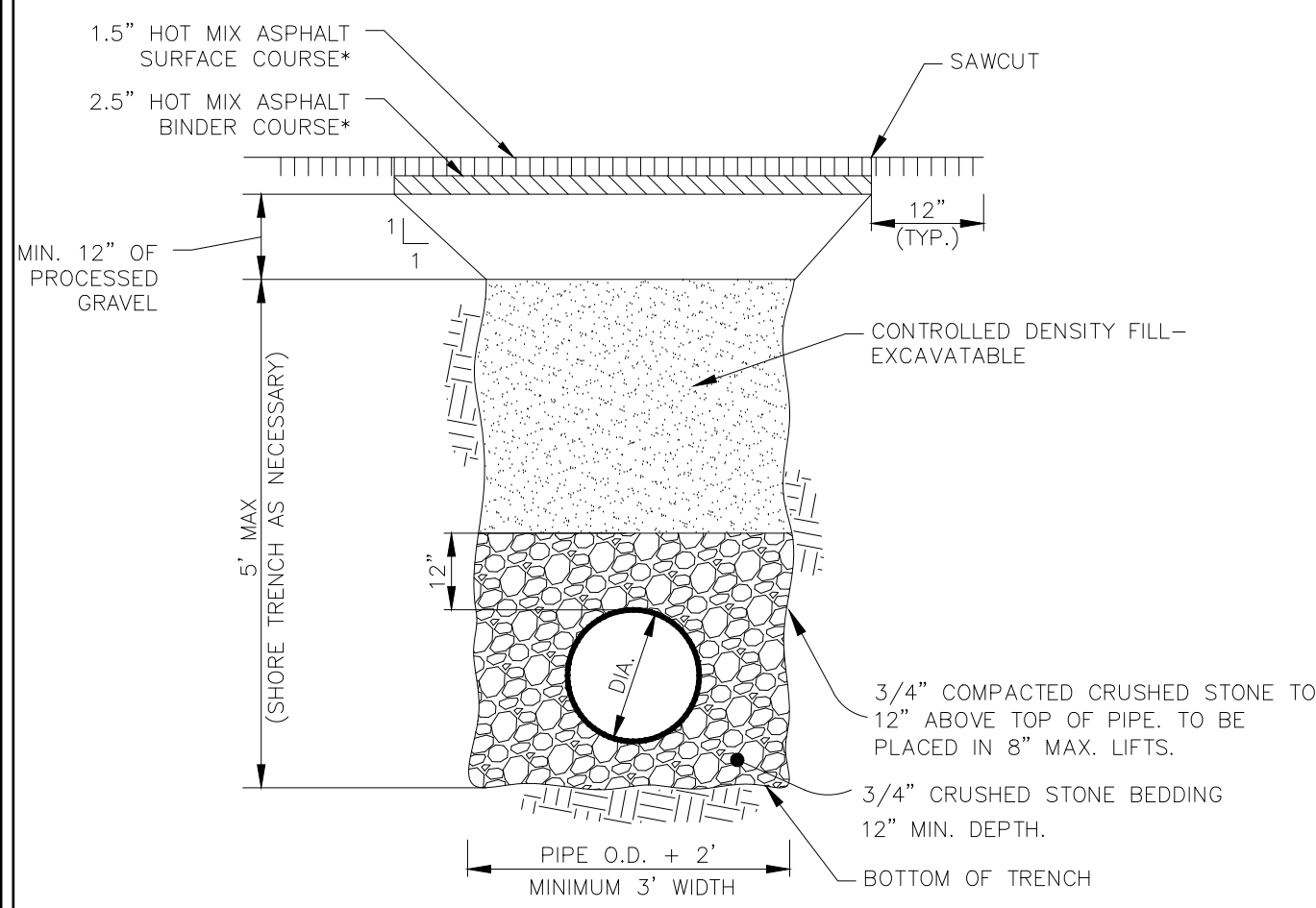
TYPICAL WATER SERVICE CONNECTION DETAIL

NOT TO SCALE



NYLOPLAST 24" DRAIN BASIN (YD-1)

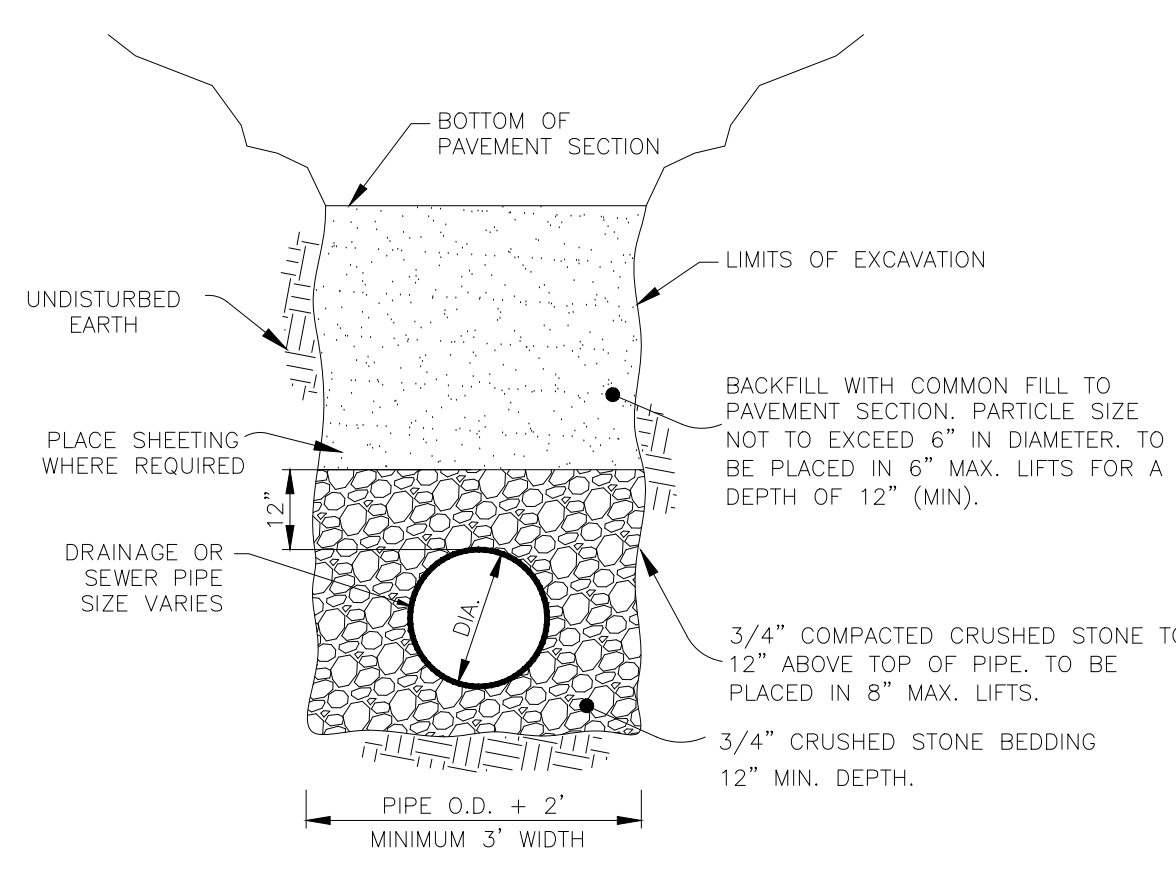
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* PAVEMENT TO BE IN ACCORDANCE WITH MUNICIPAL/STATE STREET STANDARDS

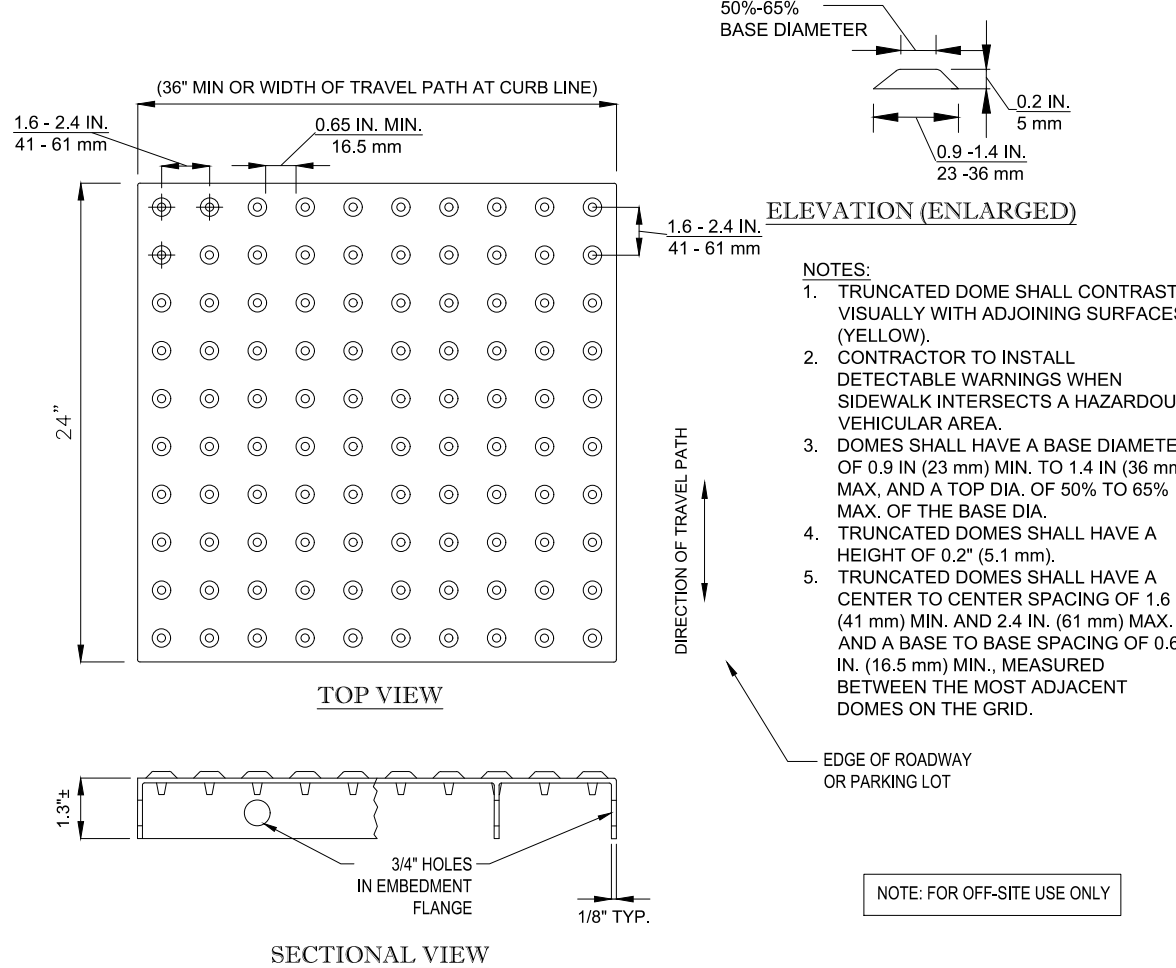
UTILITY TRENCH DETAIL IN EXISTING PAVEMENT TO REMAIN

NOT TO SCALE



TYPICAL DRAIN & SEWER TRENCH DETAIL

NOT TO SCALE



NOTE TO DESIGNER:
IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY WHERE THE WALKING SURFACE AND PAVEMENT ARE NOT SEPARATED BY CURBS, RAILING OR OTHER ELEMENTS, THE BOUNDARY BETWEEN THE AREA SHALL BE DEFINED BY A CONTINUOUS DETECTABLE WARNING WHICH IS MIN. 36" WIDE (ADA ACCESSIBLE GUIDELINES) AND MIN. 24" DEPTH.

TYPICAL DETECTABLE WARNING AREA DETAIL

NOT TO SCALE

NOT FOR CONSTRUCTION

CDG PROJECT #:	21033
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REVISIONS:		
REV	DATE	COMMENT
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SEAL:

PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

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p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

Cumberland FARMS

165 FLANDERS ROAD
WESTBOROUGH, MA 01581

PROJECT LOCATION:

**235 MAIN STREET & 5 FAIRLAWN AVE
OXFORD, MA 01540**

**RAZE & REBUILD / ADD LAND
ORACLE #MA0617**

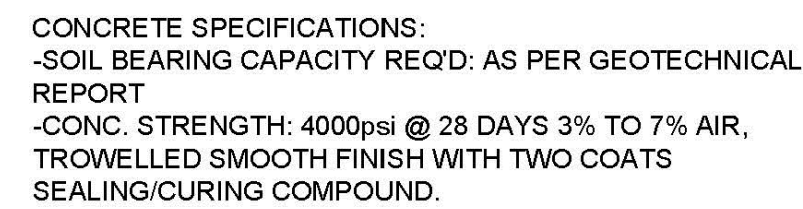
SCALE:

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**CONSTRUCTION
DETAILS
C009.3**

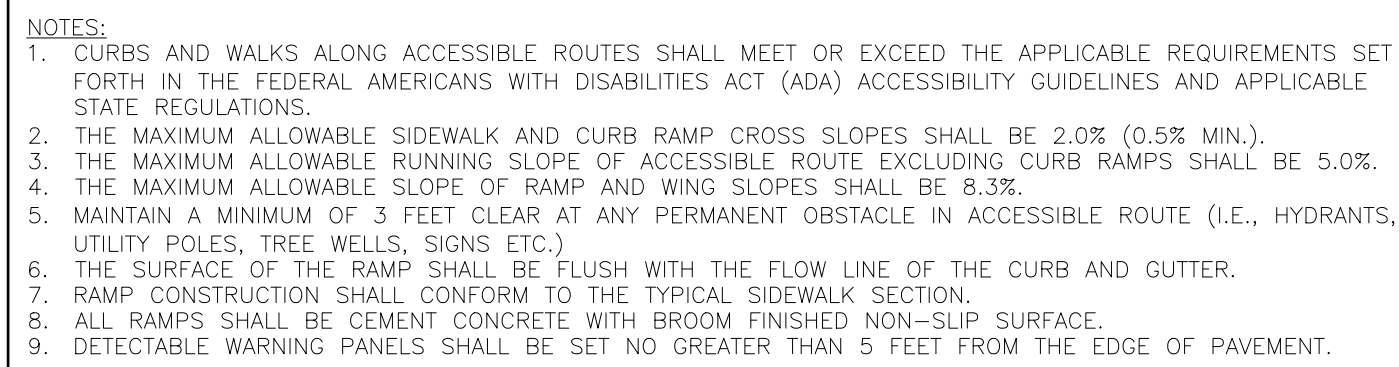
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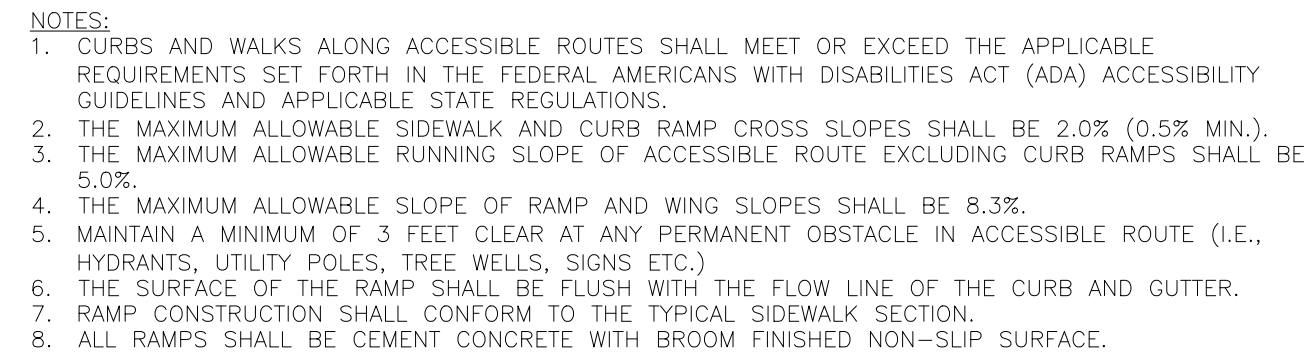
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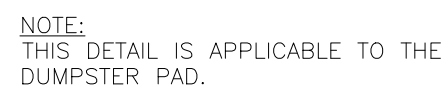
NOT TO SCALE

SEAL:

COMMONWEALTH OF MASSACHUSETTS
PHILIP R. HENRY
CIVIL
No. 48547
REGISTERED
PROFESSIONAL ENGINEER

PRH/H

PHILIP R. HENRY, P.E.



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ORACLE #MA0617

SCALE:

AS NOTED

SHEET:

CONSTRUCTION DETAILS

C009.4

DATE: 09/06/2022

CULTEC RECHARGER® 360HD PRODUCT SPECIFICATIONS

GENERAL: CULTEC RECHARGER® 360HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

CHAMBER PARAMETERS

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S. OR CANADA BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2797 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". THE LOAD CONFIGURATION SHALL INCLUDE:
A. INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
B. MAXIMUM PERMANENT (50-YEAR) COVER LOAD
C. 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
3. THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
4. THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
A. THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
B. THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
C. THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95
5. THE CHAMBER SHALL BE STRUCTURAL FOAM INJECTION MOLDED OF BLUE VIRGIN HIGH MOLECULAR WEIGHT IMPACT-MODIFIED POLYPROPYLENE.
6. THE CHAMBER SHALL BE ARCHED IN SHAPE.
7. THE CHAMBER SHALL BE OPEN-BOTTOMED.
8. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER® 360HD SHALL BE 36 INCHES (915 mm) TALL, 60 INCHES (1525 mm) WIDE AND 50 INCHES (1275 mm) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER® 360HD SHALL BE 3/4" FEET (1.12 m).
10. MULTIPLE CHAMBERS MAY BE CONNECTED TO FORM DIFFERENT LENGTH ROWS. EACH ROW SHALL BEGIN AND END WITH A SEPARATELY FORMED CULTEC RECHARGER® 360HD END CAP. MAXIMUM INLET OPENING ON THE END CAP IS 24 INCH (600 mm) HDPE OR 30 INCH (750mm) PVC.
11. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV™ FC-48 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE PIPE SIZE IN THE SIDE PORTAL IS 10 INCH (250mm) HDPE OR 12 INCH (300mm) PVC.
12. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV™ FC-48 FEED CONNECTOR SHALL BE 12 INCHES (305 mm) TALL, 18 INCHES (458 mm) WIDE AND 49 INCHES (1245 mm) LONG.
13. THE NOMINAL STORAGE VOLUME OF THE RECHARGER® 360HD CHAMBER SHALL BE 10.0 CF / FT (1.928 m³ / m). WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER® 360HD SHALL BE 36.00 CF / FT (1.030 m³ / m). WITHOUT STONE.
14. THE NOMINAL STORAGE VOLUME OF THE HVLV™ FC-48 FEED CONNECTOR SHALL BE 0.913 CF / FT (0.085 m³ / m). WITHOUT STONE.
15. THE RECHARGER® 360HD CHAMBER SHALL HAVE 7 CORRUGATIONS.
16. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
17. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 12.0 FEET (3.66 m).

END CAP PARAMETERS

1. THE CULTEC RECHARGER® 360HD END CAP (REFERRED TO AS "END CAP") SHALL BE MANUFACTURED IN THE U.S. OR CANADA BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832)
2. THE END CAP SHALL BE STRUCTURAL FOAM INJECTION MOLDED OF BLUE VIRGIN HIGH MOLECULAR WEIGHT IMPACT-MODIFIED POLYPROPYLENE.
3. THE END CAP SHALL BE ARCHED IN SHAPE.
4. THE END CAP SHALL BE OPEN-BOTTOMED.
5. THE END CAP SHALL BE JOINED AT THE BEGINNING AND END OF EACH ROW OF CHAMBERS USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS.
6. THE END CAP SHALL HAVE 5 CORRUGATIONS.
7. THE NOMINAL DIMENSIONS OF THE END CAP SHALL BE 36.5 INCHES (927 mm) TALL, 60 INCHES (1525 mm) WIDE AND 14 INCHES (458 mm) LONG. WHEN JOINED WITH A RECHARGER 360HD CHAMBER, THE INSTALLED LENGTH OF THE END CAP SHALL BE 15 INCHES (381 mm).
8. THE NOMINAL STORAGE VOLUME OF THE END CAP SHALL BE 5.17 CF / FT (0.48 m³ / m). WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF AN INTERLOCKED END CAP SHALL BE 4.47 CF / FT (0.183 m³ / UNIT). WITHOUT STONE.
9. MAXIMUM INLET OPENING ON THE END CAP IS 24 INCH (600 mm) HDPE OR 30 INCH (750mm) PVC.
10. THE CHAMBER SHALL BE MANUFACTURED IN A FACILITY EMPLOYING CULTEC'S QUALITY CONTROL AND ASSURANCE PROCEDURES.
11. THE END CAP SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12.

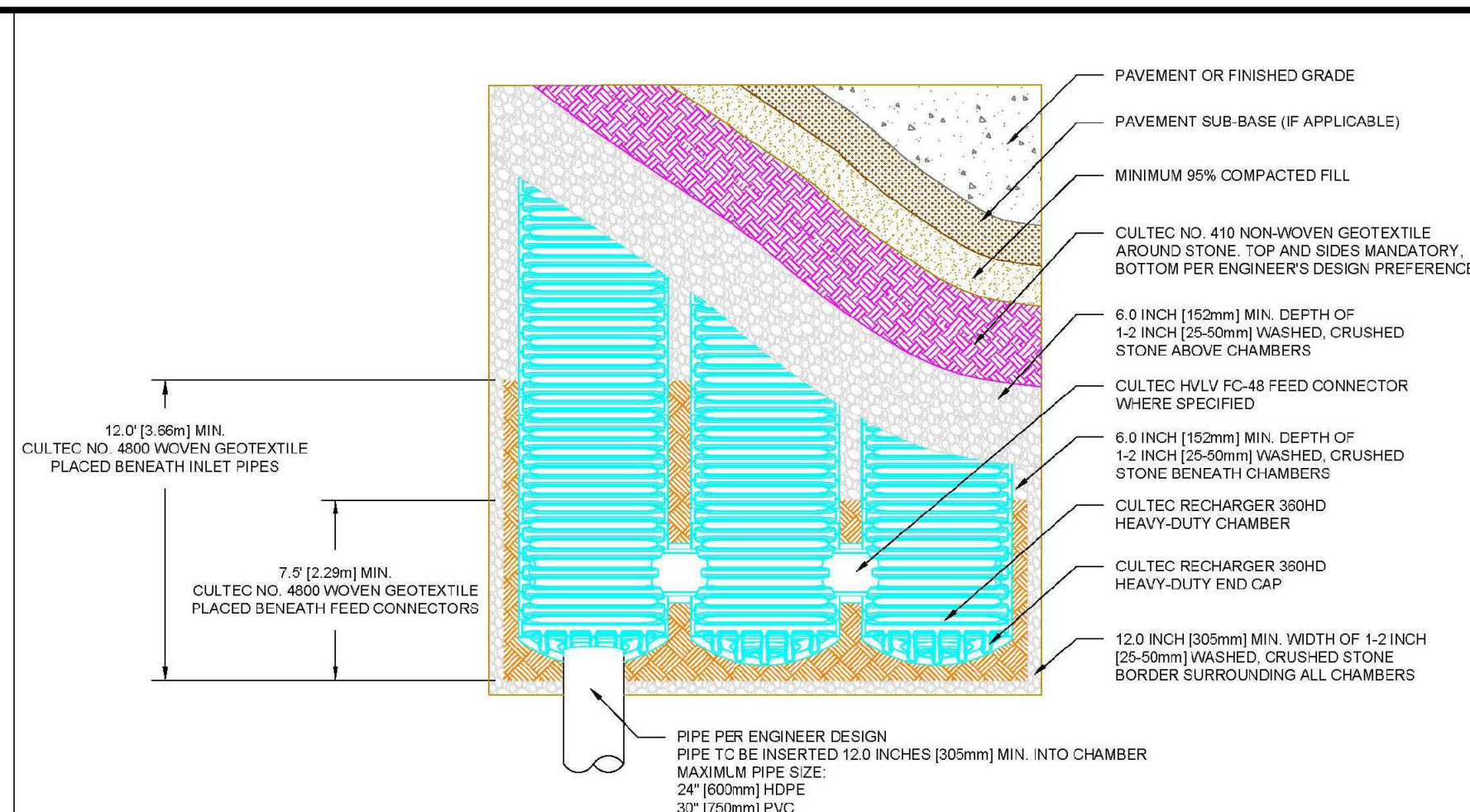
GENERAL NOTES

PIPE	A	B
6" [150 mm]	28.00" [680 mm]	0.75" [20 mm]
8" [200 mm]	24.00" [600 mm]	1.00" [25 mm]
10" [250 mm]	21.00" [525 mm]	1.25" [32 mm]
12" [300 mm]	18.00" [450 mm]	1.75" [45 mm]
15" [375 mm]	15.00" [375 mm]	2.00" [50 mm]
18" [450 mm]	12.00" [300 mm]	2.25" [58 mm]
24" [600 mm]	6.00" [150 mm]	2.50" [64 mm]

*THE TYPICAL INVERT TABLE ABOVE IS BASED ON THE INSIDE DIAMETER OF STANDARD CORRUGATED PLASTIC PIPE. THE HEAVY DUTY END CAP HAS PRE-MARKED TRIM LINES FOR PIPE DIAMETERS 12" (300mm), 15" (375mm), 18" (450mm) AND 24" (600mm). PIPES OF ANY SIZE AND MATERIAL, UP TO 24" (600mm) MAY BE PLACED AT CUSTOM LOCATIONS AND CUSTOM INVERTS. 30" (750 mm) SMOOTH-WALL SDR-35 PVC PIPE MAY BE USED AT THE BOTTOM OF THE END CAP. THE CROWN OF THE PIPE MUST REMAIN A MINIMUM OF 3" (75mm) FROM THE EDGE OF THE HEAVY DUTY END CAP.

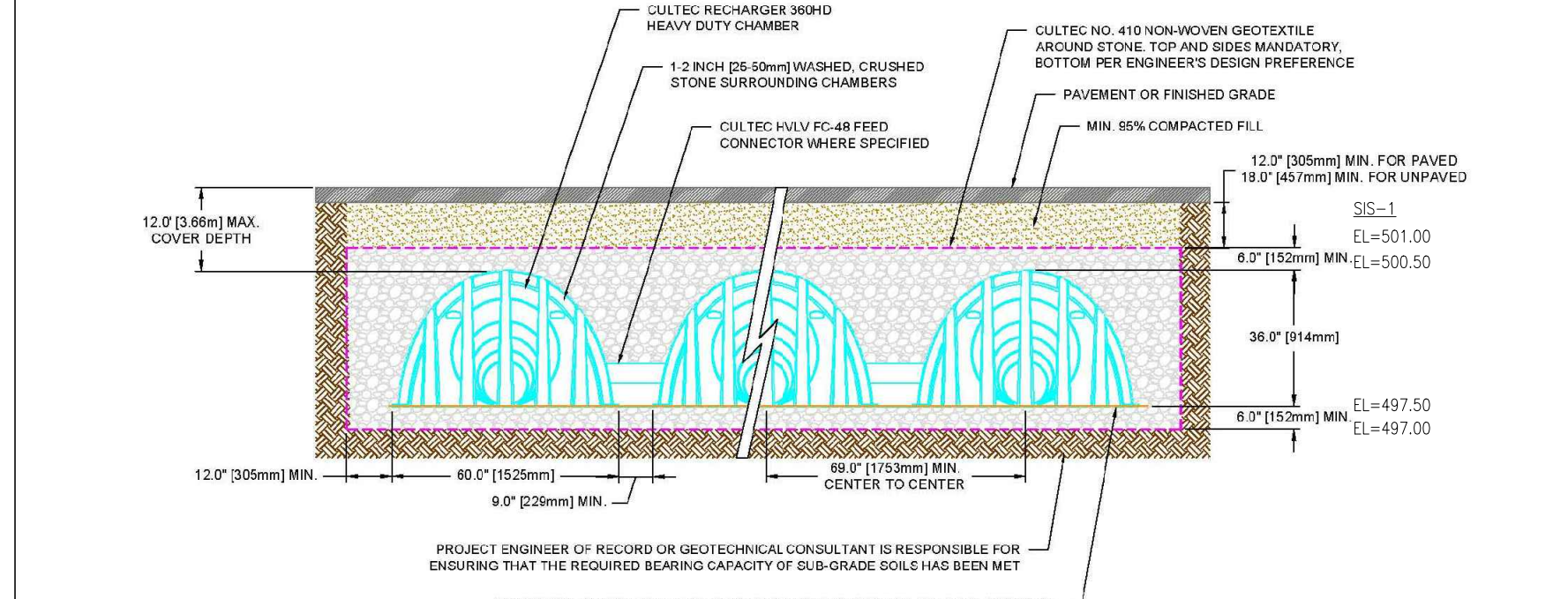
CULTEC RECHARGER 360HD TYPICAL PIPE INVERTS

360HD
7.0



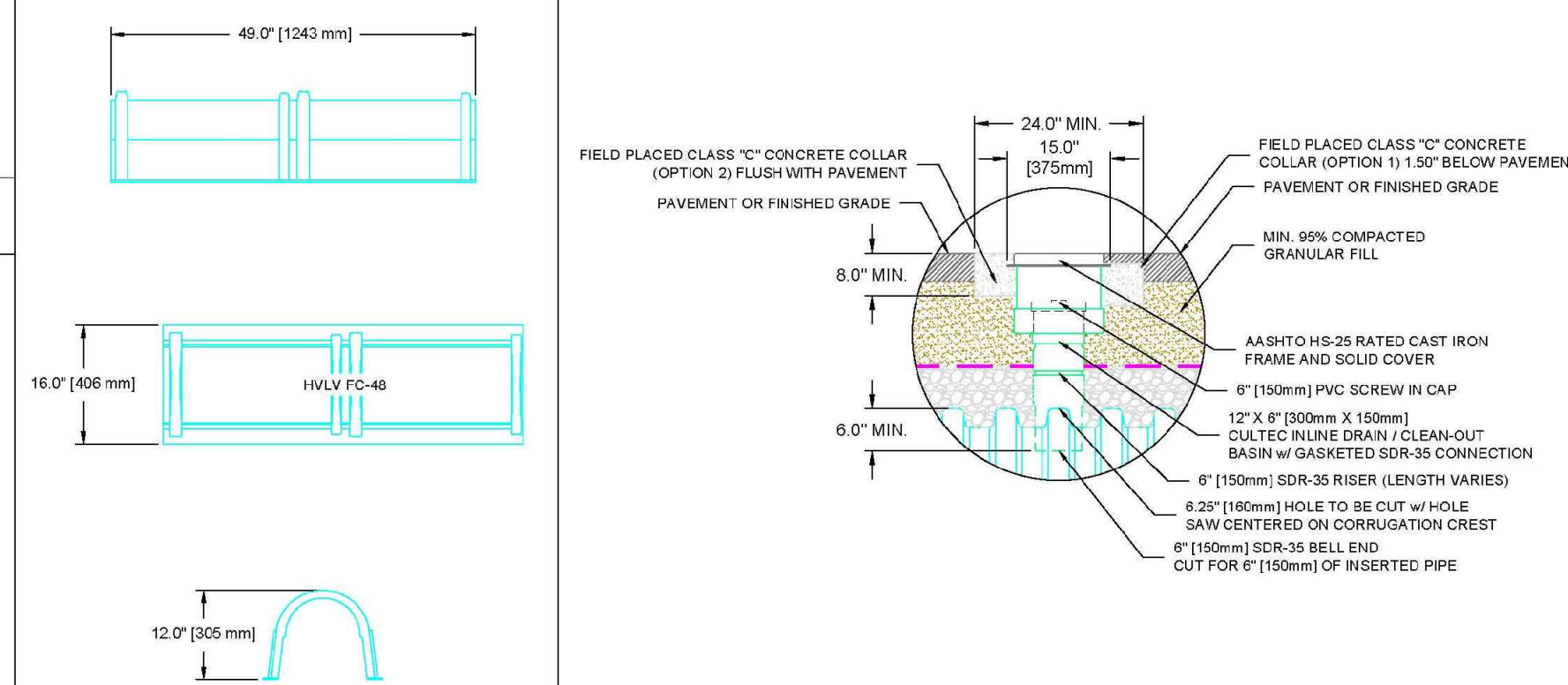
CULTEC RECHARGER 360HD HEAVY DUTY PLAN VIEW

360HD
2.0



CULTEC RECHARGER 360HD HEAVY DUTY CROSS SECTION

360HD
5.0

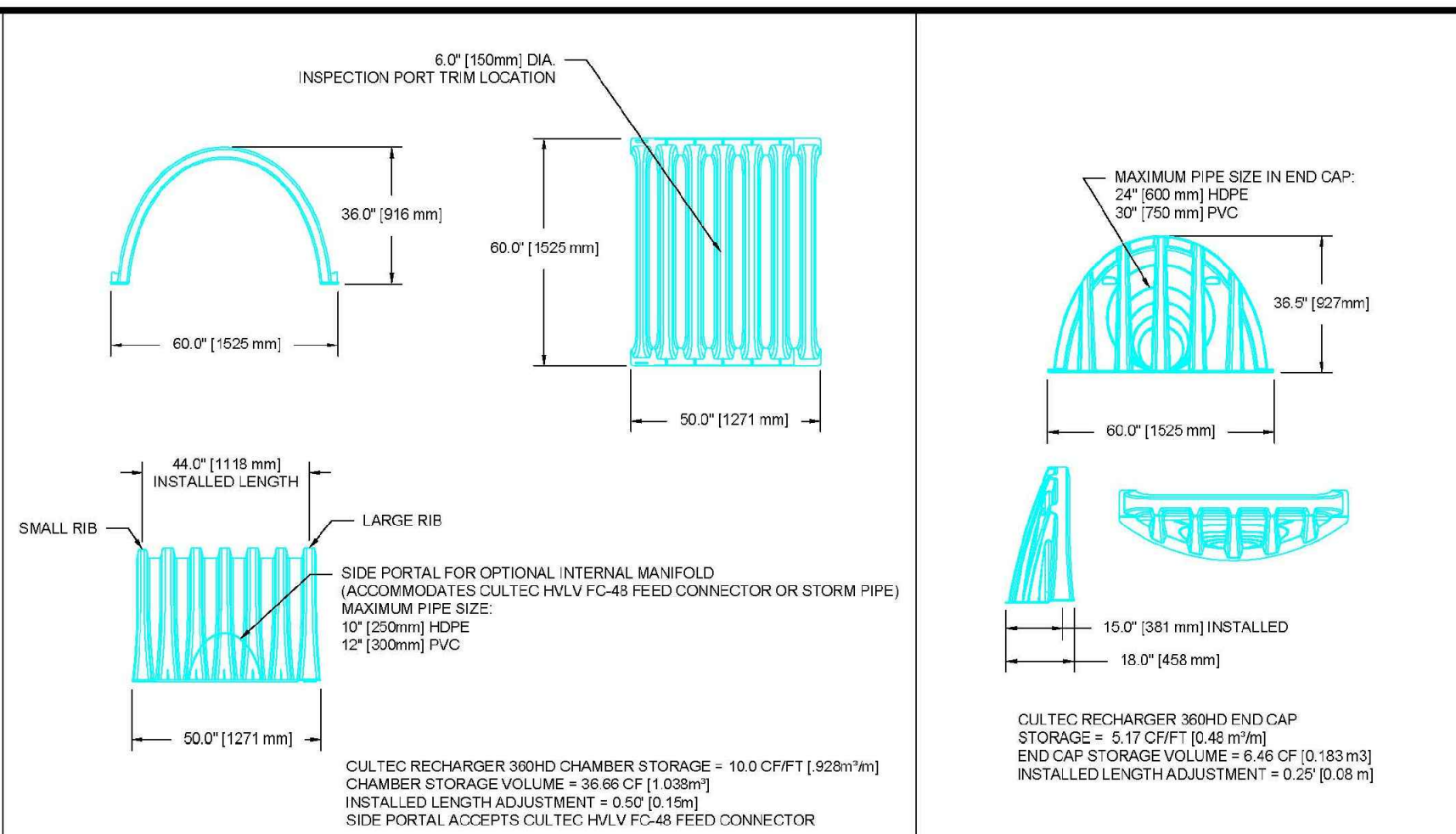


CULTEC HVLV FC-48 FEED CONNECTOR THREE VIEW

360HD
6.0

CULTEC INSPECTION PORT - ZOOM DETAIL

360HD
9.0

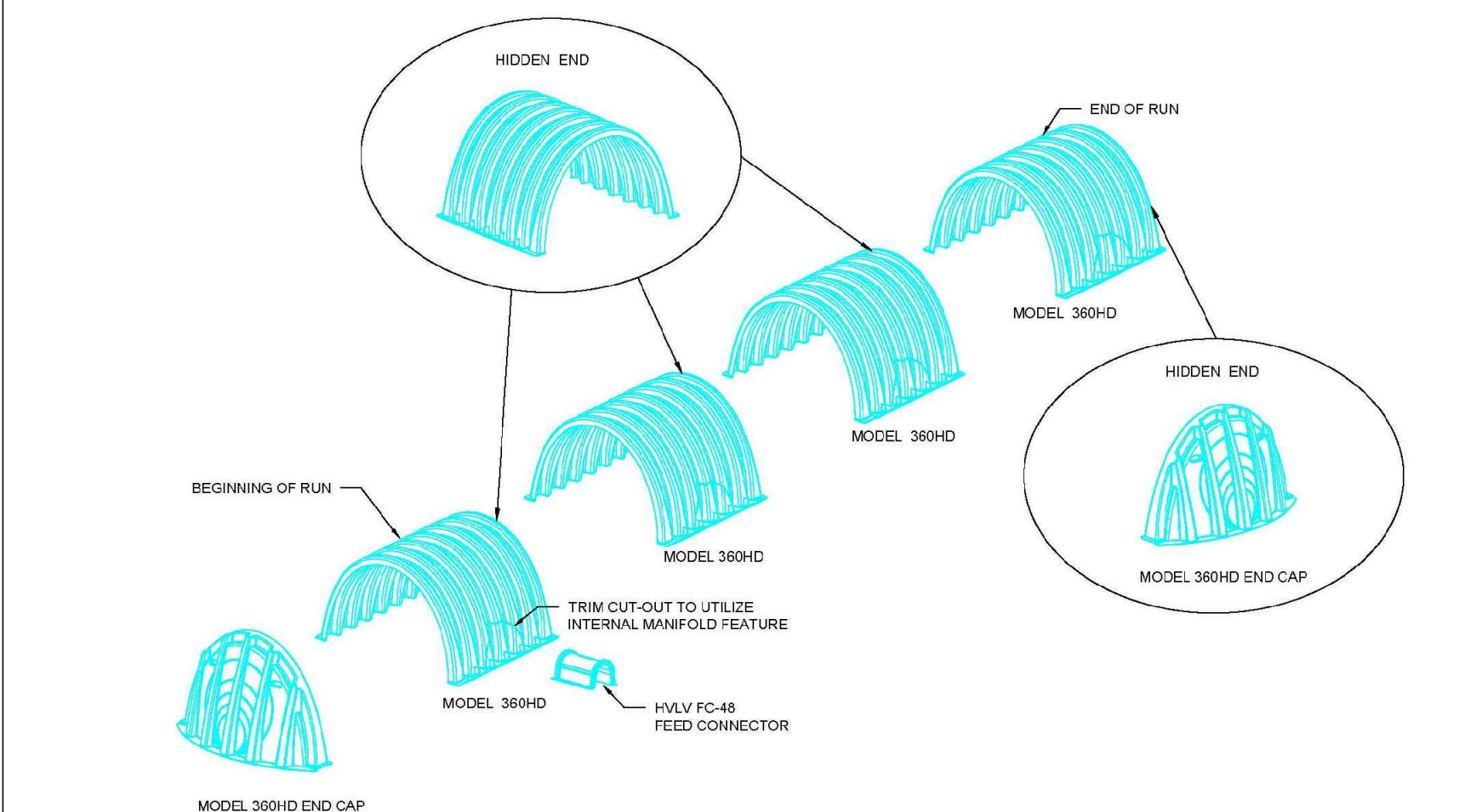


CULTEC RECHARGER 360HD HEAVY DUTY THREE VIEW

360HD
3.0

CULTEC RECHARGER 360HD HEAVY DUTY END CAP THREE VIEW

360HD
4.0



CULTEC RECHARGER 360HD HEAVY DUTY TYPICAL INTERLOCK

360HD
6.0

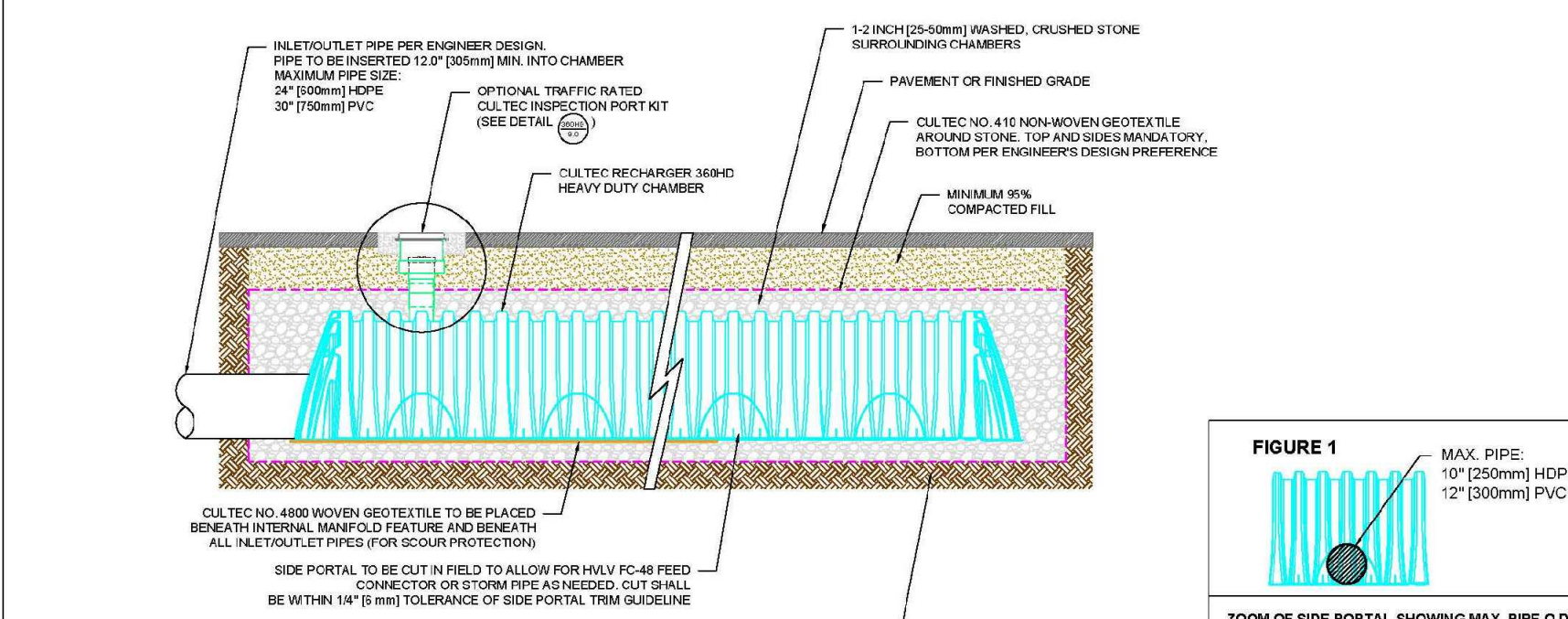


FIGURE 1
MAX. PIPE: 10" (250mm) HDPE 12" (300mm) PVC
ZOOM OF SIDE PORTAL SHOWING MAX. PIPE O.D.

CULTEC INTERNAL MANIFOLD - OPTIONAL INSPECTION PORT DETAIL

360HD
10.0

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Subsurface Stormwater Management Systems
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FX: (203) 775-1462
tech@cultec.com

THIS DRAWING WAS PREPARED TO SUPPORT THE PROJECT ENGINEER OF RECORD FOR THE PROPOSED SYSTEM. IT IS THE ULTIMATE RESPONSIBILITY OF THE PROJECT ENGINEER OF RECORD TO ENSURE THAT THE CULTEC SYSTEM'S DESIGN IS IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. IT IS THE PROJECT ENGINEER OF RECORD'S RESPONSIBILITY TO ENSURE THAT THE CULTEC PRODUCTS ARE DESIGNED IN ACCORDANCE WITH CULTEC'S MINIMUM REQUIREMENTS. CULTEC DOES NOT APPROVE PLANS, SIZING, OR SYSTEM DESIGNS.

RECHARGER 360HD DETAIL SHEET TRAFFIC APPLICATION

CULTEC STORMWATER CHAMBER			
PROJECT NO:	-	DATE:	03/2020
DESIGNED BY:	TECH	CHECKED BY:	TECH
SCALE:	N.T.S.	SHEET NO:	1 OF 1

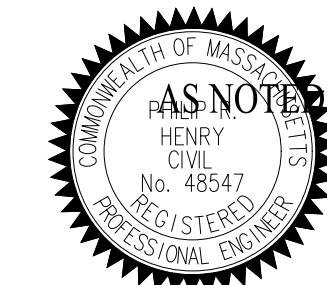
NOT FOR CONSTRUCTION

CDG PROJECT #: 21033

REVISIONS:

REV	DATE	COMMENT
1	10/25/22	REVISED DRAINAGE
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
3	02/14/23	ADDED PRIVACY FENCE ALONG PORTION OF REAR LOT LINE
4	04/20/23	90% PLANS
5	05/04/23	REV PER MASS DOT COMMENTS
6	07/11/23	REV PER MASS DOT COMMENTS
7	10/23/23	REV PER MASS DOT COMMENTS
8		
9		

SEAL:



PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

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www.cdgengineering.com
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

Cumberland Farms
165 FLANDERS ROAD
WESTBOROUGH, MA 01581

PROJECT LOCATION:

235 MAIN STREET & 5 FAIRLAWN AVE
OXFORD, MA 01540

RAZE & REBUILD / ADD LAND
ORACLE #MA0617

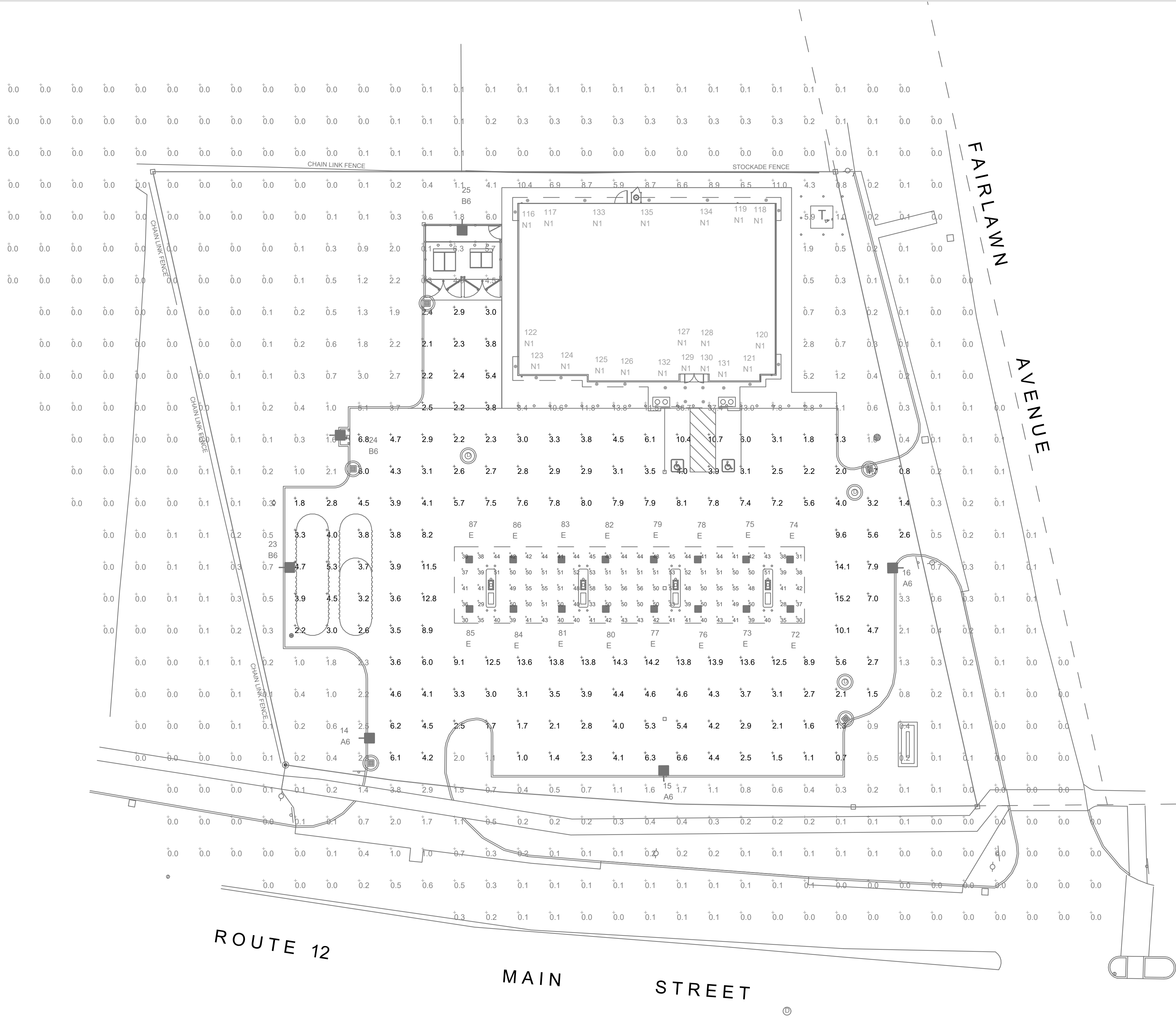
SCALE:

AS NOTED

SHEET:

**CONSTRUCTION
DETAILS
C009.5**

DATE: 09/06/2022



NOTE:
- POLE MOUNTED FIXTURES ARE MOUNTED ON A 20FT POLE ATOP A CONCRETE BASE.

LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
14	A6	20
15	A6	20
16	A6	20
23	B6	20
24	B6	20
25	B6	20
72	E	14
73	E	14
74	E	14
75	E	14
76	E	14
77	E	14
78	E	14
79	E	14
80	E	14
81	E	14
82	E	14
83	E	14
84	E	14
85	E	14
86	E	14
87	E	14
116	N1	12
117	N1	12
118	N1	12
119	N1	12
120	N1	12
121	N1	12
122	N1	12
123	N1	12
124	N1	12
125	N1	12
126	N1	12
127	N1	12
128	N1	12
129	N1	12
130	N1	12
131	N1	12
132	N1	12
133	N1	12
134	N1	12
135	N1	12

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	44.69	58	28	1.60	2.07
PAVED AREA	4.95	15.2	0.7	7.07	21.71
UNDEFINED AREA	0.78	37.4	0.0	N.A.	N.A.

LUMINAIRE SCHEDULE										
SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURE	CATALOG LOGIC
	3	A6	SINGLE	7575	1.030	B1-U0-G1	75	225	Cree Lighting	NTA-DA-WH + NTA-A-NM-T3-11L-50K-UL-WH + NTA-BLSF-11L
	3	B6	SINGLE	7575	1.030	B1-U0-G2	75	225	Cree Lighting	NTA-DA-WH + NTA-A-NM-T4-11L-50K-UL-WH + NTA-BLSF-11L
	16	E	SINGLE	13251	1.030	B3-U0-G1	134	2144	CREE, INC.	CAN-304-SL-RS-06-E-UL-WH-700-57K-DIM
	20	N1	SINGLE	3300	1.000	B2-U2-G0	35	700	Cree Lighting	CDR8-ALH-9ACK-10V5-WH-UNV Low

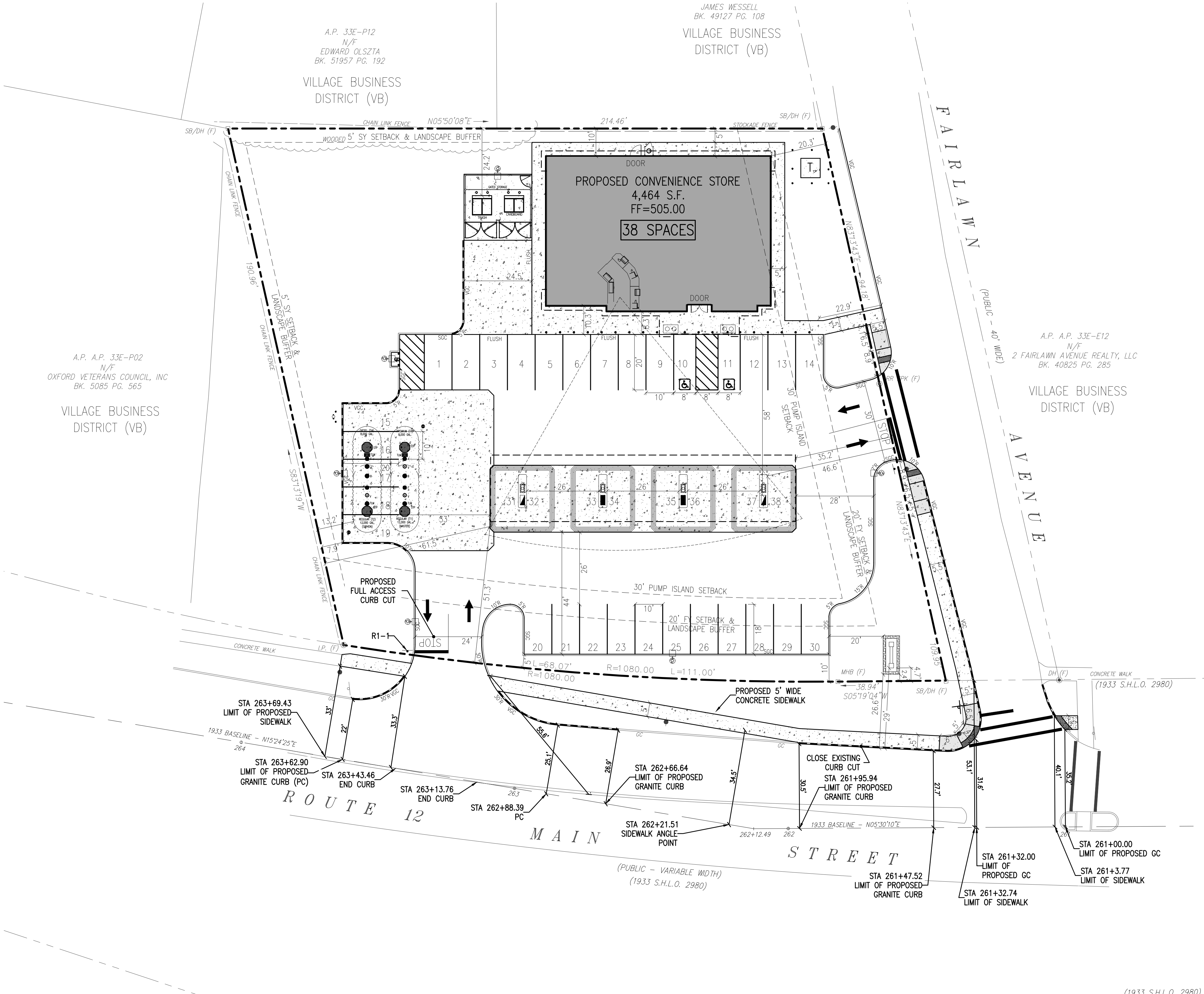
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REV.	BY	DATE	DESCRIPTION
R1	TAS	11/10/22	ADDED FENCE AT REAR OF BUILDING

GENERAL NOTES

1. ZONING INFORMATION OBTAINED FROM THE TOWN OF OXFORD ZONING ORDINANCE AS AMENDED THROUGH MAY 5, 2021.
2. THE PROJECT SITE INCLUDES LOTS 1 & 14 ON MAP 33E OF THE TOWN OF OXFORD ASSESSOR'S MAPS AND TOTALS 0.97± ACRES.
3. THE PROJECT LIES WITHIN THE VILLAGE BUSINESS DISTRICT (VB) AND WITHIN THE ZONE II AQUIFER PROTECTION AREA.
4. MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
5. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
8. UST INSTALLATION SHALL COMPLY WITH OSHA POWER LINE SAFETY REQUIREMENT STANDARD 1926.1408 WITH REGARD TO EQUIPMENT CLEARANCE. UPON REVIEW, SPECIALTY EQUIPMENT MAY BE REQUIRED TO COMPLY.



THIS PLAN SHALL BE UTILIZED FOR MASS DOT PERMITTING PURPOSES ONLY.

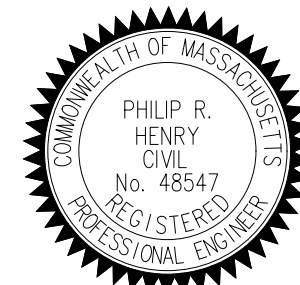
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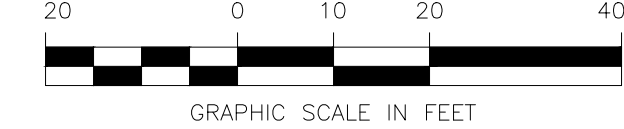
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RAZE & REBUILD / ADD LAND
ORACLE #MA0617

SCALE:



SHEET:

DOT
SITE PLAN

C016.0

DATE:

09/06/2022