



LOCUS PLAN  
SCALE: 1"=250'±

SHEET NUMBER	SHEET DESCRIPTION
C001.0	COVER SHEET
C002.0	ALTA/NSPS LAND TITLE SURVEY
C003.0	DEMOLITION PLAN
C004.0	SITE PLAN
C005.0	GRADING & DRAINAGE PLAN
C006.0	EROSION & SEDIMENTATION CONTROL PLAN
C007.0	UTILITY PLAN
C007.1	ONSITE SEPTIC
C007.2	ONSITE SEPTIC
C008.0	LANDSCAPE PLAN
C009.0	CONSTRUCTION DETAILS
C009.1	CONSTRUCTION DETAILS
C009.2	CONSTRUCTION DETAILS
C009.3	CONSTRUCTION DETAILS
C009.4	CONSTRUCTION DETAILS
C009.5	CONSTRUCTION DETAILS
C009.6	CONSTRUCTION DETAILS
C010.0	LIGHTING PROPOSAL
C010.1	Fixture Specification Sheet
C014.0A	UST COVER SHEET
C014.0B	TANK & PIPING PLAN
C014.1	MATERIAL LIST
C014.2	TANK INSTALLATION DETAILS
C014.3	TANK INSTALLATION DETAILS
C014.4	SUMP & PIPING DETAILS
C014.5	TANK INSTALLATION DETAILS
C014.6	ELECTRICAL DETAILS
C014.6A	DISPENSER SUMP DETAILS
C014.7	TANK INSTALLATION DETAILS
C014.8	DISP./LEAK DETECT.WIRING
C016.0	DOT SITE PLAN
A-001	PYLON SIGNAGE

**CONSULTANTS:**

**SURVEY:**  
ODONE SURVEY & MAPPING, P.C.  
291 MAIN STREET, SUITE 5  
NORTHBOROUGH, MA 01532  
508-351-6022  
CONTACT: GLENN ODONE, P.L.S.

**TRAFFIC ENGINEER:**  
MCMAHON ASSOCIATES  
300 MYLES STANDISH BOULEVARD  
TAUNTON, MA 02780  
508-823-2245  
CONTACT: JASON ADAMS, P.E.

**EXTERIOR LIGHTING DESIGN:**  
RED LEONARD ASSOCIATES  
5630 BRIDGETOWN ROAD, SUITE 2  
CINCINNATI, OH 45248  
513-574-9500

**ARCHITECT:**  
HFA ALLEVATO ARCHITECTS INC.  
31 HAYWARD STREET  
FRANKLIN, MA 02038  
508-528-0770  
CONTACT: HAILEY WEBER

**FIRE SUPPRESSION DESIGNER:**  
BOHLER ENGINEERING  
352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
508-480-9900  
CONTACT: WILLIAM GOEBEL, P.E.

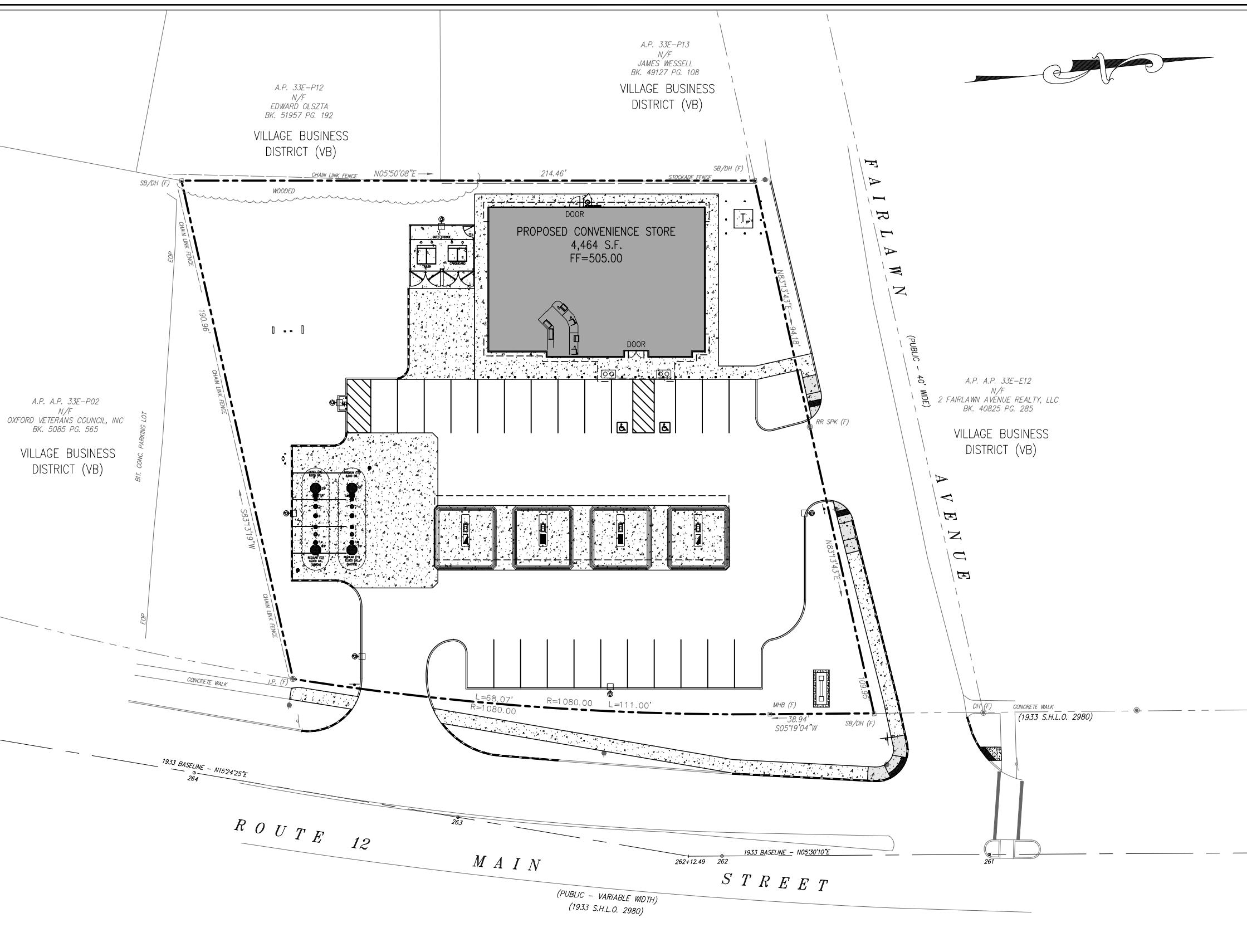
# SITE PLAN SET

FOR



STORE # 3471, ORACLE # MA0617

235 MAIN STREET & 5 FAIRLAWN AVENUE  
OXFORD, MA 01540

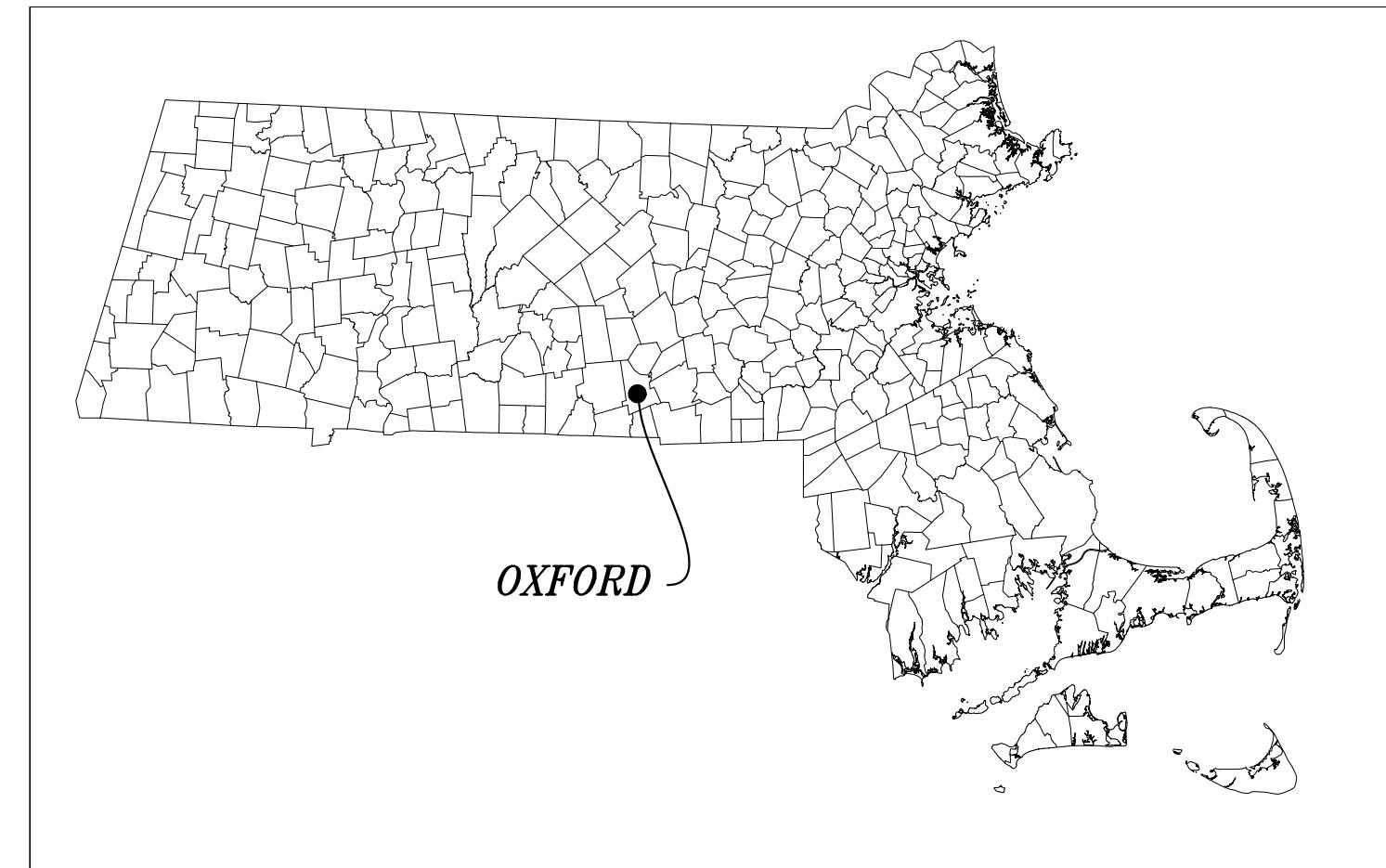


OVERALL LAYOUT PLAN

SCALE: 1"=50'

**MUNICIPALITY CONTACTS:**

DEPARTMENT	CONTACT	PHONE NUMBER	ADDRESS
TOWN MANAGER	JENNIFER CALLAHAN	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
ZONING BOARD	MARY HERRIAGE	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
PUBLIC WORKS	JARED DUVAL, P.E.	508-987-6006	450 MAIN STREET, OXFORD, MA 01540
ASSESSOR	ALEXANDER SENDZIK	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
FIRE	CHIEF MCDONALD	508-987-6012	181 MAIN STREET, OXFORD, MA 01540
HEALTH	RIKE STERETT	508-987-6045	325 MAIN STREET, OXFORD, MA 01540
PLANNING	TONY SOUSA	508-987-6038	325 MAIN STREET, OXFORD, MA 01540
POLICE	CHIEF SAAD	508-987-0156	503 MAIN STREET, OXFORD, MA 01540
TOWN CLERK	MICHELLE JENKINS	508-987-6032	325 MAIN STREET, OXFORD, MA 01540
CONSERVATION DEPT.	JUDY LOCHNER	508-987-6044	325 MAIN STREET, OXFORD, MA 01540
BUILDING DEPARTMENT	PATRICK DAHLGREN	508-987-6038	325 MAIN STREET, OXFORD, MA 01540



MUNICIPALITY LOCATION MAP  
N.T.S.

PREPARED BY:

**CIVIL DESIGN  
GROUP, LLC**

21 HIGH STREET SUITE 207  
NORTH ANDOVER, MA 01845

[www.cdgengineering.com](http://www.cdgengineering.com)  
p: 978-794-5400  
f: 978-965-3935

CONTACT: PHILIP HENRY, P.E.

NOT FOR CONSTRUCTION

ISSUED TO:

90% PLANS

SEAL:



*PH* *JH*

PHILIP R. HENRY, P.E.

**PROPERTY:**  
235 MAIN STREET & 5 FAIRLAWN AVENUE  
OXFORD, MA 01540

**OWNER(S) OF RECORD:**  
235 MAIN STREET (MAP 33E, LOT P01)  
V.S.H. REALTY, INC.  
165 FLANDERS ROAD  
WESTBOROUGH, MA 01581

5 FAIRLAWN AVE (MAP 33E, LOT P14)  
233 MAIN STREET, LLC  
PAMELA A. MASSAD  
370 MAIN STREET  
WORCESTER, MA

SHEET:

**COVER SHEET**

**C001.0**

CDG PROJECT #:

21033

## RECORD DESCRIPTION

TRACT I (FAIRLAWN AVENUE):  
ALL THAT CERTAIN PIECE OF LAND SITUATED IN THE TOWN OF OXFORD, COUNTY OF WORCESTER, STATE OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:  
BEGINNING AT AN IRON PIPE SET IN THE WESTERLY SIDE OF SOUTH MAIN STREET AT THE NORTHERLY CORNER OF LAND NOW OR FORMERLY OF THE TOWN OF OXFORD AND EXTENDING;  
THENCE (1) BOUNDING SOUTHERLY ON SAID LAND NOW OR FORMERLY OF THE TOWN OF OXFORD SOUTH 83° 08' 34" WEST 190.52 FEET TO A STONE POST;  
THENCE (2) BOUNDING WESTERLY IN PART ON LAND NOW OR FORMERLY OF VOLKERT R. SMITH AND IN PART ON LAND NOW OR FORMERLY OF ROBERT E. AND HELENA L. LAROSE, NORTH 05° 43' 04" EAST 214.38 FEET TO A STONE POST SET IN THE SOUTHERLY SIDE OF FAIRLAWN AVENUE;  
THENCE (3) BOUNDING NORTHERLY ON SAID SOUTHERLY SIDE OF FAIRLAWN AVENUE 83° 08' 34" EAST 94.19 FEET TO A POINT;  
THENCE (4) BOUNDING EASTERLY ON LAND OF OR FORMERLY OF THE ATLANTIC REFINING COMPANY SOUTH 04° 25' 04" WEST 122 FEET TO A POINT;  
THENCE (5) BOUNDING NORTHERLY ON SAID OTHER LAND OF OR FORMERLY OF THE ATLANTIC REFINING COMPANY SOUTH 82° 02' 26" EAST 100 FEET TO A POINT IN SAID WESTERLY SIDE OF SOUTH MAIN STREET;  
THENCE (6) BOUNDING EASTERLY ON SAID WESTERLY SIDE OF SOUTH MAIN STREET RUNNING SOUTHERLY ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 1020 FEET THE ARC DISTANCE 68.08 FEET (THE CHORD OF SAID ARC BEARING SOUTH 13° 01' 25" WEST 68.07 FEET) TO THE POINT OF BEGINNING.

TRACT II (233 MAIN ALSO KNOWN AS 233 MAIN STREET):

ALL THAT CERTAIN PIECE OR PARCEL OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN THE TOWN OF OXFORD, COUNTY OF WORCESTER, STATE OF MASSACHUSETTS, PARTICULARLY DESCRIBED AS FOLLOWS:  
BEGINNING AT THE INTERSECTION OF THE SOUTHERLY SIDE OF FAIRLAWN AVENUE 40 FEET WIDE AND THE WESTERLY SIDE OF SOUTH MAIN STREET AND EXTENDING THENCE (1) BOUNDING EASTERLY ON SAID WESTERLY SIDE OF SOUTH MAIN STREET 5 DEGREES 19 MINUTES 4 SECONDS WEST 38.79 FEET TO A POINT OF CURVATURE; THENCE (2) STILL BOUNDING EASTERLY ON SAID WESTERLY SIDE OF SOUTH MAIN STREET AND RUNNING SOUTHERLY ALONG THE RIGHT HAVING A RADIUS OF 1020 FEET THE ARC DISTANCE OF 111.21 FEET (THE CHORD OF THE ARC BEARING SOUTH 8 DEGREES 16 MINUTES 04 SECONDS WEST 111.16 FEET) TO A POINT; THENCE (3) BOUNDING SOUTHERLY ON LAND NOW OR FORMERLY OF NESTA'S REALTY, INC. NORTH 82 DEGREES 02 MINUTES 26 MINUTES WEST 100.00 FEET TO A POINT; THENCE (4) BOUNDING WESTERLY ON SAID LAND NOW OR FORMERLY OF NESTA'S REALTY, INC. NORTH 4 DEGREES 25 MINUTES 04 SECONDS EAST 122.00 FEET TO A POINT IN THE SOUTHERLY SIDE OF FAIRLAWN AVENUE; THENCE (5) BOUNDING NORTHERLY ON THE SOUTHERLY SIDE OF FAIRLAWN AVENUE NORTH 83 DEGREES 08 MINUTES 34 SECONDS EAST 110.00 FEET TO THE POINT AND PLACE OF BEGINNING.

## AS-SURVEYED DESCRIPTION

ALL THAT CERTAIN PIECE OR PARCEL OF LAND WITH THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED IN THE TOWN OF OXFORD, COUNTY OF WORCESTER, STATE OF MASSACHUSETTS, PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT AT THE INTERSECTION OF THE SOUTHERLY SIDE OF FAIRLAWN AVENUE AND THE WESTERLY SIDE OF SOUTH MAIN STREET, THENCE, ALONG THE WESTERLY SIDE OF SOUTH MAIN STREET S.05°19'04"E, A DISTANCE OF 38.94 FEET TO A POINT, THENCE SOUTHERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 1,080.00 FEET AND A ARC A DISTANCE OF 111.00 FEET; THENCE CONTINUE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 68.07 FEET; THENCE CONTINUE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 111.00 FEET; THENCE CONTINUE SOUTHERLY ALONG SAID CURVE, A DISTANCE OF 109.96 FEET; THENCE N.05°50'08"E, A DISTANCE OF 214.46 FEET TO A POINT IN THE SOUTHERLY SIDE OF FAIRLAWN AVENUE; THENCE N.83°13'43"E, A DISTANCE OF 94.19 FEET; THENCE CONTINUING EASTERLY ALONG SAID LINE, A DISTANCE OF 109.95 FEET TO THE POINT OF BEGINNING.  
CONTAINING 42,072 SQUARE FEET OR 0.96 ACRES, MORE OR LESS.

THE PROPERTY DESCRIBED ABOVE IS THE SAME PROPERTY AS DESCRIBED IN COMMITMENT FOR TITLE INSURANCE NO. NCS-1114845-HOU ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF FEBRUARY 23, 2022 AS TO TRACT I; MARCH 01, 2022 AS TO TRACT II

## PROPERTY INFORMATION:

CURRENT OWNER OF RECORD:  
TRACT I: 233 MAIN STREET, LLC, A MASSACHUSETTS LIMITED LIABILITY COMPANY SITE ADDRESS: 5 FAIRLAWN AVENUE, OXFORD, MA (WORCESTER COUNTY) ASSESSORS PARCEL: 33E-P14 DEED REFERENCE: BOOK 54227, PAGE 175

TRACT II: V.S.H. REALTY, INC., A/K/A CUMBERLAND FARMS, INC. SITE ADDRESS: 233 MAIN STREET, OXFORD, MA (WORCESTER COUNTY) ASSESSORS PARCEL: 33E-P01 DEED REFERENCE: BOOK 5639, PAGE 93, SEE ALSO MERGER: BOOK 9077, PAGE 383.

ZONING DISTRICT: VILLAGE BUSINESS DISTRICT (VB)

TOTAL LAND AREA = 42,072 SQ. FT. 0.966 ACRES

## ITEMS CORRESPONDING TO SCHEDULE B-II

EXCEPTIONS FROM COVERAGE, SCHEDULE B-SECTION 2. COMMITMENT FOR TITLE INSURANCE NO. NCS-1114845-HOU ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF FEBRUARY 23, 2022 AS TO TRACT I; MARCH 01, 2022 AS TO TRACT II

NOTE: EXCEPTION ITEMS NOT LISTED BELOW ARE STANDARD TITLE EXCEPTIONS AND/OR ARE NOT MATTERS OR ISSUES THAT PERTAIN TO THIS SURVEY.

10. TAKING FOR LAYOUT OF MAIN STREET AS A STATE HIGHWAY BY THE DEPARTMENT OF PUBLIC WORKS DATED OCTOBER 17, 2012, RECORDED IN BOOK 49948, PAGE 215 (DOES NOT AFFECT TRACTS I AND II - DOCUMENT REFERS TO LAND THAT IS NOT LOCUS)

11. RESTRICTIONS OR CONDITIONS SET FORTH IN DEED FROM ATLANTIC RICHFIELD COMPANY TO V.S.H. REALTY, INC. DATED NOVEMBER 14, 1974 RECORDED IN BOOK 5639, PAGE 93 (AFFECTS TRACT II); (NONE NOTED)

12. MORTGAGE, ASSIGNMENT OF LEASES AND RENTS AND SECURITY AGREEMENT FROM CUMBERLAND FARMS, INC. TO TRANSAMERICA BUSINESS CREDIT CORPORATION DATED JUNE 14, 1996, RECORDED IN BOOK 18928, PAGE 52, AS MODIFIED BY MODIFICATION AND ASSIGNMENT OF MORTGAGE DATED MAY 30, 2002, RECORDED IN BOOK 29234, PAGE 125 (AFFECTS TRACT II); (NON-SURVEY RELATED AND CANNOT BE PLOTTED)

## GENERAL NOTES:

1. THIS PLAN IS THE RESULT OF AN ON-THE-GROUND SURVEY PERFORMED BY ODONE SURVEY & MAPPING ON FEBRUARY 24, 2022, SURVEY BY TRIMBLE S6 TOTAL STATION.
2. BASIS OF BEARINGS: 1933 S.H.L.O 2980
3. THE VERTICAL POSITIONS SHOWN ON THIS PLAN ARE BASED ON KEYNET RTK GPS NETWORK AND IS SUBJECT TO FURTHER ADJUSTMENT TO ANY LOCAL NGS BENCHMARKS. THE VERTICAL DATUM IS RELATIVE TO NAVD 1988.
4. PROPERTY HAS DIRECT ACCESS TO FAIRLAWN AVENUE AND MAIN STREET, BOTH DESIGNATED PUBLICWAYS. THERE ARE NO PROPERTY LINES LOCATED WITHIN THE BOUNDS OF SAID STREETS.
5. TABLE A (ITEM 18): THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
6. TABLE A (ITEM 17): THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES, ACCORDING TO THE TOWN OF BURLINGTON, THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
7. NO EVIDENCE WAS OBSERVED OF CEMETERIES, GRAVESITES OR BURIAL GROUNDS, LOCATED ON THE SUBJECT PREMISES.
8. NO OBSERVABLE EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE.
9. UTILITY NOTE: LOCATION OF UTILITIES SHOWN HEREON WERE DETERMINED BY OBSERVATION OF ABOVE GROUND EVIDENCE PURSUANT TO SECTION 5 PARAGRAPH E (IV) OF THE ALTA/NSPS MINIMUM STANDARD DETAIL REQUIREMENTS, PER ITEM 11(e) OF TABLE A REQUIREMENTS, THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.
10. THERE ARE (37) REGULAR PARKING SPACES AND (2) HANDICAPPED PARKING SPACES FOR A TOTAL OF (39) PARKING SPACES ON THE SUBJECT PROPERTY.
11. UNLESS SHOWN OTHERWISE THE SURVEYED BOUNDARY SHOWN HEREON ARE CONTIGUOUS WITH ADJOINING PROPERTIES AND/OR RIGHTS OF WAY WITHOUT ANY GAPS, GORES OR OVERLAPS.
12. AT THE TIME OF THE FIELD WORK, OWNERSHIP OF FENCING SHOWN HEREON IS UNKNOWN TO THIS SURVEYOR.

## REVISIONS:

REV	DATE	COMMENT
1	3/22/22	DRAFT ISSUE
2	6/30/22	COMMENTS
3		
4		
5		

## PREPARED BY:

**ODONE SURVEY & MAPPING**  
SURVEYING ~ MAPPING ~ PLANNING & CONSULTING  
291 Main Street, Suite 5  
Northborough, MA 01532  
Tel: 508-351-6022 Fax: 508-351-6633

## SURVEYOR'S CERTIFICATION

TO: CUMBERLAND FARM INC., AND FIRST AMERICAN TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(e), 7(a), (b)(1), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON FEBRUARY 24, 2022.

  
GLENN D. ODONE, JR.  
REGISTERED LAND SURVEYOR NO. 45068  
COMMONWEALTH OF MASSACHUSETTS

## PREPARED FOR:

**Cumberland FARMS**  
165 FLANDERS ROAD  
WESTBOROUGH, MA 01581

PROJECT LOCATION:  
235 MAIN STREET  
& 5 FAIRLAWN AVENUE  
OXFORD, MA 01540  
RAZE & REBUILD  
STORE # STATION V#

CIVIL ENGINEER:  
**CIVIL DESIGN GROUP, LLC**

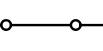
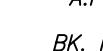
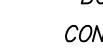
21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdgengineering.com  
p: 978-794-5400 f: 978-914-6161

SHEET:  
ALTA/NSPS LAND TITLE SURVEY

**C002.0**

DATE: JUNE 30, 2022  
DWG FILE: 1498-01A  
PROJECT NO. 20221498

## LEGEND

 EXISTING BUILDING
 GAS LINE/GAS VALVE
 OVERHEAD WIRES
 DRAIN LINE/DRAIN MANHOLE
 WATER LINE/WATER GATE
 SEWER LINE/SEWER MANHOLE
 FENCE
 MAJOR CONTOUR
 MINOR CONTOUR
 BOLLARD
 CATCH BASIN
 FIRE HYDRANT
 GAS METER
 LIGHT POLE
 UTILITY POLE
 GUY WIRE
 SIGN
 HANDICAP PARKING
 MONITORING WELL
 ASSESSORS PARCEL
 DEED BOOK/PAGE
 BITUMINOUS CONCRETE
 BITUM. CONCRETE CURB
 CONCRETE CURB
 DOUBLE DASH YELLOW LINE
 GRANITE CURB
 CHAIN LINK FENCE
 EDGE OF PAVEMENT

## FLOOD NOTE

BASED ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AVAILABLE ONLINE AT WWW.FEMA.GOV, AND BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS LOCATED IN ZONE X ON FLOOD INSURANCE RATE MAP NUMBER 25027C0976, WHICH BEARS AN EFFECTIVE DATE OF 07/04/2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THE ACCURACY OF THE MAPS AND/OR TO APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

SCHEDULE B EXCEPTION ITEM

ENCROACHMENT SYMBOL

ITEMS CORRESPONDING TO SCHEDULE B-II

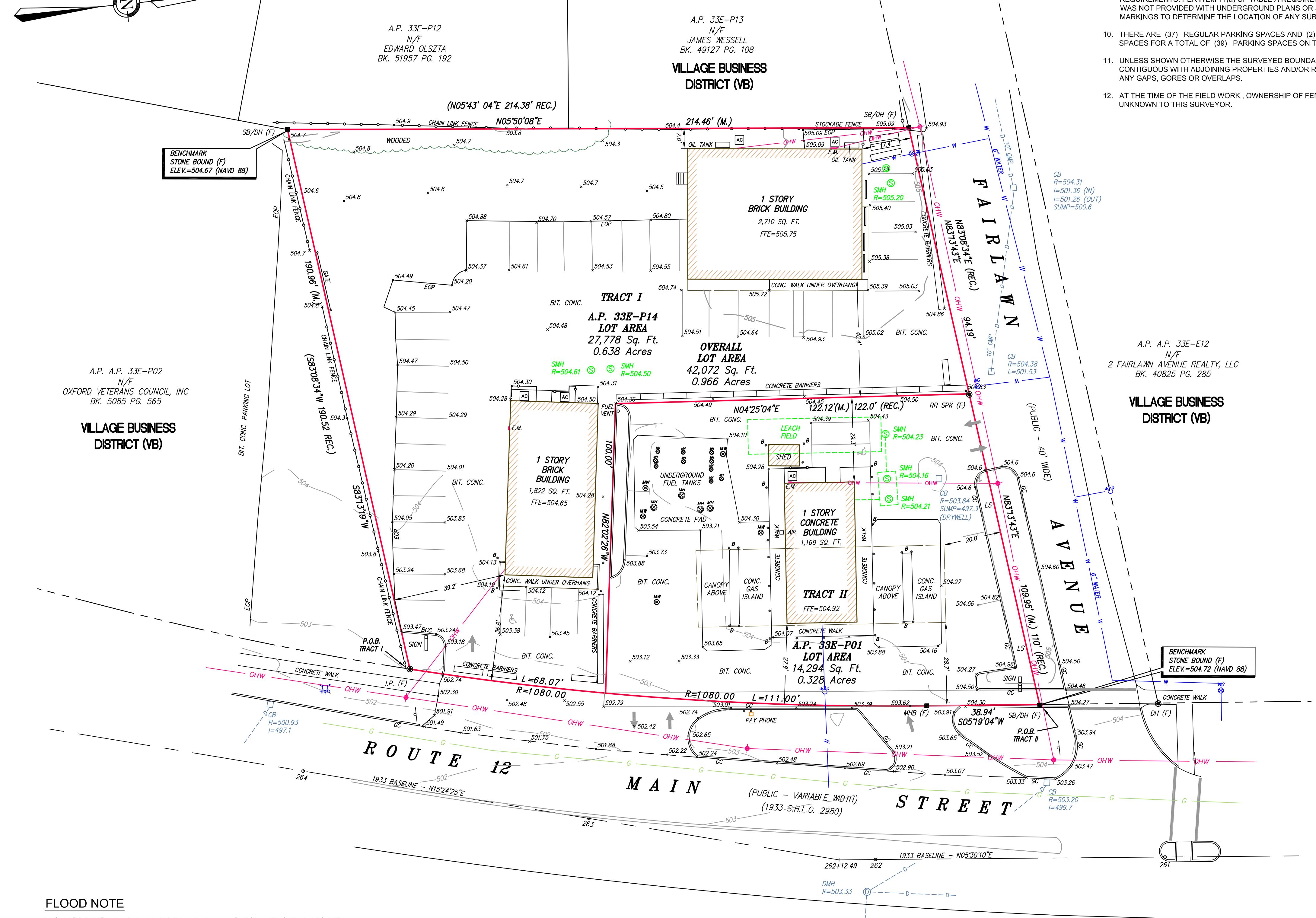
EXCEPTIONS FROM COVERAGE, SCHEDULE B-SECTION 2. COMMITMENT FOR TITLE INSURANCE NO. NCS-1114845-HOU ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY WITH AN EFFECTIVE DATE OF FEBRUARY 23, 2022 AS TO TRACT I; MARCH 01, 2022 AS TO TRACT II

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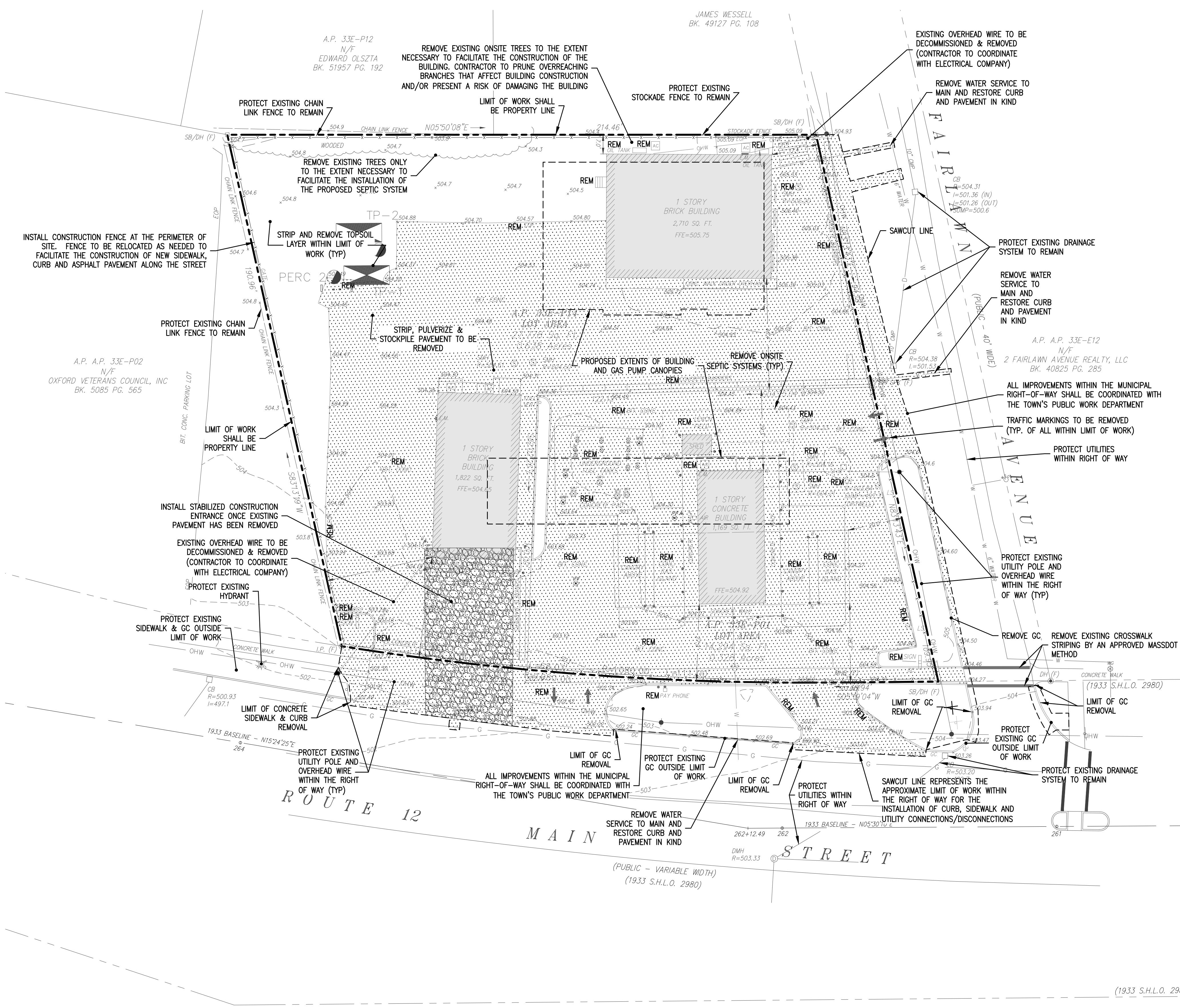
GRAPHIC SCALE  
( IN FEET )  
1 inch = 20 ft

## SITE DEMOLITION NOTES

1. THE LOCATION AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES SHOWN ON THESE PLANS ARE BASED ON MEASUREMENTS TAKEN IN THE FIELD AND DISCOVERED RECORDS FROM VARIOUS UTILITY COMPANIES AND/OR FROM THE MUNICIPALITY. THIS INFORMATION SHALL NOT BE CONSIDERED EXACT AND THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL NOTIFY 'DIG SAFE' (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXISTING UTILITY MARK OUT LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF EXISTING UTILITY LOCATIONS CONFLICT WITH THE PROPOSED DEVELOPMENT PROGRAM SO THAT A REMEDIAL ACTION CAN TAKE PLACE PRIOR TO ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR RELOCATING ALL EXISTING UTILITIES AS A RESULT OF THE PROPOSED DEVELOPMENT.
2. THIS PROJECT INCLUDES THE DEMOLITION OF ALL EXISTING ONSITE BUILDINGS, GAS PUMPS, CANOPIES, UTILITY CONNECTIONS, PAVEMENT AREAS, LANDSCAPE AREAS AND SEPTIC SYSTEMS.
3. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, SHEET C002.0" PREPARED BY ODONE SURVEY & MAPPING, DATED 06/30/2022.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
5. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
6. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE MUNICIPAL DEPARTMENTS INCLUDING THE BUILDING DEPARTMENT AT LEAST 48 HOURS PRIOR TO START OF WORK.
7. THE CONTRACTOR SHALL ARRANGE A PRE-CONSTRUCTION MEETING WITH THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.
8. ALL DISTURBED OFF-SITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
9. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PER THE DETAIL WHEREVER CONSTRUCTION ACCESS EXISTS. PAVED AREAS SHALL BE KEPT CLEAN AT ALL TIMES.
10. PEDESTRIAN AND VEHICULAR ACCESS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE KEPT IN GOOD CONDITION THROUGHOUT CONSTRUCTION.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND UTILITY CONNECTION/DISCONNECTION FEES RELATED TO THE PROJECT. CONTRACTOR SHALL NOTIFY AND COORDINATE ALL UTILITY WORK WITH THE APPLICABLE UTILITY COMPANIES AND/OR LOCAL DEPARTMENTS. ALL PERMITS SHALL BE KEPT WITHIN THE TRAILER AND CLEARLY VISIBLE.
12. EXISTING WATER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN, UNLESS OTHERWISE SPECIFIED BY THE MUNICIPALITY.
13. THE OFFSITE DISPOSAL OF ALL DEMOLISHED MATERIALS SHALL COMPLY WITH THE APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
14. EXISTING ONSITE BITUMINOUS PAVEMENT SHALL BE STRIPPED, PULVERIZED AND REMOVED OFFSITE IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS..
15. CONSTRUCTION DUMPSTERS SHALL BE LOCATED ON A STABLE SURFACE AND SHALL BE PROPERLY MAINTAINED AND EMPTIED ON A REGULAR BASIS.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE GENERAL UPKEEP OF THE SITE DURING THE CONSTRUCTION PROCESS.
17. CONTRACTOR SHALL NOT STOCKPILE OR LOCATE DUMPSTERS WITHIN WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE.
18. REFER TO SHEET 'C006.0' FOR EROSION & SEDIMENTATION CONTROL INFORMATION.
19. MEANS OF PROTECTING EXISTING MONITORING WELLS, IF APPLICABLE, SHALL BE COORDINATED WITH THE

OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO CONSTRUCTION

20. ALL LANDSCAPE DEBRIS SHALL BE TAKEN OFF-SITE AND DISPOSED OF AT AN APPROPRIATE SITE.
21. THE CONTRACTOR SHALL CONSULT WITH THE DEVELOPER/OWNER TO DETERMINE THE NEED FOR ANY PRE-CONSTRUCTION INSPECTIONS/SURVEYS (E.G. PRE-BLAST, PRE-SHORING) WITH ABUTTERS AND SHALL PERFORM ANY SUCH INSPECTION/SURVEYS AT THE OWNER'S DIRECTION.

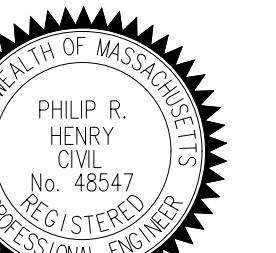


*NOT FOR CONSTRUCTION*

PROJECT #: 21033

SITIONS:	
DATE	COMMENT
10/25/22	REVISED DRAINAGE
11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
02/14/23	ADDED PRIVACY FENCE ALONG PORTION OF REAR LOT LINE
04/20/23	90% PLANS
05/04/23	REV PER MASS DOT COMMENTS
07/11/23	REV PER MASS DOT COMMENTS
10/23/23	REV PER MASS DOT COMMENTS

1:



RSKJ

## RUNNING BOARD:

ENGINEERED

---

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
[www.cdgengineering.com](http://www.cdgengineering.com)  
p: 978-794-5400 f: 978-965-3971

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
[www.cdgengineering.com](http://www.cdgengineering.com)  
p: 978-794-5400 f: 978-965-3971

**PARFD FOR:**

JECT LOCATION:

## **RAZE & REBUILD / ADD LAND ORACLE #MA0617**

A graphic scale bar consisting of a horizontal line with tick marks and numerical labels. The scale is marked at 0, 10, 20, and 40. The segments between the marks are black, while the segments before and after the marks are white. Below the scale, the text "GRAPHIC SCALE IN FEET" is printed.

ET: **DEMOLITION  
PLAN**

2.

09/06/2022

## GENERAL NOTES

1. ZONING INFORMATION OBTAINED FROM THE TOWN OF OXFORD ZONING ORDINANCE AS AMENDED THROUGH MAY 5, 2021.
2. THE PROJECT SITE INCLUDES LOTS 1 & 14 ON MAP 33E OF THE TOWN OF OXFORD ASSESSOR'S MAPS AND TOTALS  $0.97 \pm$  ACRES.
3. THE PROJECT LIES WITHIN THE VILLAGE BUSINESS DISTRICT (VB) AND WITHIN THE ZONE II AQUIFER PROTECTION AREA.
4. MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
5. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
6. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
8. UST INSTALLATION SHALL COMPLY WITH OSHA POWER LINE SAFETY REQUIREMENT STANDARD 1926.1408 WITH REGARD TO EQUIPMENT CLEARANCE. UPON REVIEW, SPECIALTY EQUIPMENT MAY BE REQUIRED TO COMPLY.

## SITE LAYOUT NOTES

1. THE BUILDING OUTLINE SHOWN ON THIS PLAN DEPICTS THE FINISH TO FINISH EXTENTS OF THE BUILDING. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR FOUNDATION PLANS FOR PURPOSES OF STAKING OUT THE BUILDING. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND EXTERIOR FEATURES INCLUDING UTILITY METERS, BOLLARDS, DOORS, PILASTERS, RAMPS, ETC.
2. ALL LIMITS OF PAVEMENT SHALL BE CURBED, UNLESS OTHERWISE NOTED.
3. ALL ONSITE CURB SHALL BE SLOPED GRANITE, VERTICAL GRANITE AND MONOLITHIC CONCRETE AND OFFSITE CURB SHALL BE VERTICAL GRANITE, UNLESS OTHERWISE SPECIFIED. SLOPED GRANITE CURB SHALL MEET VERTICAL GRANITE CURB VIA A TRANSITIONAL CURB STONE INSTALLED FULLY WITHIN BITUMINOUS PAVEMENT LIMITS.
4. NON-ACCESSIBLE PARKING SPACE DIMENSIONS AS SHOWN ON THE PLAN ARE 10' WIDE x 20' LONG.
5. NON-ACCESSIBLE PAVEMENT MARKINGS AND STRIPING SHALL PAINTED WITH 2 COATS OF PAINT (WHITE OR YELLOW, SEE PLAN) PER FEDERAL SPECIFICATION TI-P-115 TYPE 1: ALKYD.
6. PAVEMENT LETTERS SHALL BE 2' WIDE X 2' LONG.
7. STOP BARS SHALL BE 12" WIDE AND SOLID/DASHED LINES SHALL BE 4" IN WIDTH (SEE SITE PLAN FOR LENGTH & COLOR).
8. ACCESSIBLE PARKING SPACES SHALL CONFORM TO THE LATEST EDITION OF THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AND THE ARCHITECTURAL ACCESS BOARD (AAB) AS SHOWN ON THE SITE PLANS.
9. DIAGONAL STRIPING SHALL CONSIST OF SOLID LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER. ACCESSIBLE PARKING AISLE STRIPING SHALL CONSIST OF 4" SOLID AZURE BLUE LINES ORIENTED AT A 45 DEGREE ANGLE AND SPACED 3' ON CENTER.
10. ACCESSIBLE RAMP LENGTHS MAY VARY. REFER TO SITE PLAN FOR ACTUAL LENGTHS.
11. DIRECTIONAL AND ACCESSIBLE SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR COLOR AND SIZE.
12. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
13. SNOW SHALL NOT BE STORED IN ANY LANDSCAPED AREAS, EXCEPT FOR DESIGNATED SNOW STORAGE AREAS, AND SHALL NOT BE STORED IN ANY MANNER WHICH AFFECTS VISIBILITY FOR PEDESTRIANS AND VEHICLES. THE CLEARING OF SNOW MUST COMMENCE WHEN STOCKPILED SNOW EITHER IMPEDES THE SIDEWALK OR PARKING SPACE ACCESS, AT WHICH TIME, THE APPLICANT WOULD BE EXPECTED TO REMOVE THE SNOW.
14. REPLACEMENT PAVEMENT AS A RESULT OF UTILITY AND DRAINAGE TRENCHING WITHIN THE RIGHT-OF-WAY SHALL MATCH EXISTING PAVEMENT THICKNESS.
15. ALL DISTURBED OFFSITE AREAS SHALL BE RESTORED TO PRE CONSTRUCTION CONDITION.
16. SITE LIGHTS TO BE INSTALLED PER DETAIL. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE DISTANCE SPECIFIED IN THE DETAIL CANNOT BE ACHIEVED DUE TO DRAINAGE OR UTILITY CONFLICTS. REFER TO DETAIL FOR SITE LIGHT POLE BASE DETAILS AND SPECIFICATIONS.

LEGEND			GENERAL ABBREVIATIONS	
EXISTING	PROPOSED	DESCRIPTION		
		PROPERTY LINE	ASSESSORS PARCEL	A.P.
		BUILDING SETBACK/BUFFER	BOTTOM OF CURB	BC
	6	PARKING SPACES	BITUMINOUS CONCRETE CURB	BCC
	2'R	CURB RADIUS	BITUMUNOUS CONCRETE	BIT. CONC
		ACCESSIBLE PAVEMENT MARKINGS	CATCH BASIN	CB
		RAMP UPSLOPE DIRECTION	CHAIN LINK FENCE	C.L.F.
		SIGN	CLEANOUT	CO
		LIGHT	CONCRETE SURFACE	CONC
		UTILITY POLE	DRAIN MANHOLE	DMH
		WOODEN GUIDERAIL/FENCE	DOUBLE WALL FIBER GLASS	DWFG
		TREE LINE	DASHED WHITE LINE	DWL
		BUILDING COLUMN	DOUBLE YELLOW CENTERLINE	DYCL
		PAINTED ARROW	EDGE OF PAVEMENT	EOP
		CONCRETE PAD/SIDEWALK	FINISHED FLOOR ELEVATION	FF=
		BITUMINOUS CONCRETE SIDEWALK	FRONT YARD	FY
		ACCESSIBLE RAMP	GRANITE CURB	GC
		IRON PIPE/IRON PIN	VERTICAL GRANITE CURB	VGC
		WELCOME SIGNS	SLOPED GRANITE CURB	SGC
		SEE YOU SOON SIGNS	GAS METER	GM
			HIGH DENSITY POLYETHYLENE PIPE	HDPE
			INVERT ELEVATION	I=
			LINEAL FEET	LF
			LANDSCAPED AREA	LA
			MONOLITHIC CONCRETE CURB	MCC
			MATCH EXISTING	ME
			INVERT NOT AVAILABLE	N/A
			NOW OR FORMERLY	N/F
			ON CENTER	OC
			RIM ELEVATION	R=
			ROOF DRAIN	RD
			REMOVE	REM
			REAR YARD	RY
			SOLID WHITE EDGE LINE	SWEL
			SOLID WHITE LINE	SWL
			SIDE YARD	SY
			SOLID YELLOW LINE	SYL
			TOP OF CURB	TC
			UTILITY POLE	UP

## ZONING INFORMATION

ZONING DISTRICT: VILLAGE BUSINESS DISTRICT (VB) OVERLAY DISTRICT: HOUSING OPPORTUNITY OVERLAY (HOO) SITE AREA: 0.97± ACRES			
REGULATION	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	TBD	42,072± SF	NO CHANGE
MIN. LOT FRONTAGE/WIDTH	TBD	422± SF	NO CHANGE
MIN. FY SETBACK (BLDG)	20'	27.9'±	20.3'±
MIN. SY SETBACK (BLDG)	5'	7'±	10'±
MIN. RY SETBACK (BLDG)	5'	N/A	N/A
MIN. FY SETBACK (CANOPY)	30'	20'±	35.2'±
MIN. SY SETBACK (CANOPY)	5'	100'±	61.5'±
MIN. RY SETBACK (CANOPY)	5'	N/A	N/A
PUMP ISLAND SETBACK	30'	26.5'±	46.6'±
MAX. BUILDING HEIGHT	35'	<35'±	<35'±
MAX. LOT/BUILDING COVERAGE	NOT SPECIFIED	N/A	N/A

## PARKING & LOADING INFORMATION

USE	REQUIRED	PROVIDED
<u>PARKING:</u> RETAIL: 1 SPACE/250 FLOOR AREA PLUS 1 SPACE PER EMPLOYEE (ASSUME 6) $4,464/250=17.8 + 6 =$	24 SPACES	38 SPACES INCL. 8 PUMP SPACES
REQUIRED MINIMUM NUMBER OF ACCESSIBLE SPACES (0-25 TOTAL SPACES)	1 SPACE	2 SPACES
<u>LOADING:</u> LESS THAN 5,000 SF	NONE	NONE

## LAND COVERAGE CALCULATIONS

		TOTAL AREA: 0.97± ACRES	
COVER	EXISTING	PROPOSED	
BUILDING/CANOPY	0.13± AC	0.16± AC	
PAVEMENT/CONCRETE	0.66± AC	0.48± AC	
OPEN SPACE	0.18± AC	0.33± AC	
TOTAL	0.97± AC	0.97± AC	

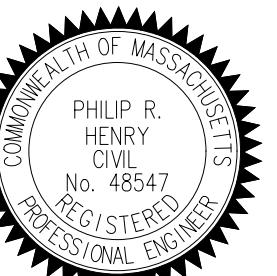
MUTCD REFERENCE	SIGN
R1-1	
R7-8	
R7-8a	

*NOT FOR CONSTRUCTION*

21033

REVISIONS:		
REV	DATE	COMMENT
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7	10/23/23	REV PER MASS DOT COMMENTS

SEAL:



PHILIP R. HENRY, P.

# CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
[www.cdgengineering.com](http://www.cdgengineering.com)  
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

PROJECT LOCATION:  
**235 MAIN STREET & 5 FAIRLAWN AVE**

## RAZE & REBUILD / ADD LAND

SCALE:

20 0 10 20 40

SHEET:

# SITE PLAN

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# C004.0

€604.0

## GRADING & DRAINAGE NOTES

1. THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED ON THE DATUM REFERENCE ON THE EXISTING CONDITIONS PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND ELEVATION BENCHMARKS THROUGHOUT CONSTRUCTION.
3. EXTERIOR ELEVATIONS ALONG EACH BUILDING SIDE MAY VARY IN ORDER TO ACHIEVE GRADE IN CERTAIN AREAS. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM THE PROPOSED BUILDING.
4. NEW SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0% AND A MAXIMUM RUNNING SLOPE OF 5.0% UNLESS AN ADA COMPLIANT RAMP IS PROVIDED. RAMPS SHALL NOT EXCEED AN 8.0% RUNNING SLOPE AND SHALL NOT EXCEED A 6" RISE UNLESS A HANDRAIL IS PROVIDED. FURTHERMORE, ACCESSIBLE PARKING SPACES AND PROXIMATE ACCESS AISLES SHALL BE SLOPED AT A MAXIMUM OF 2.0% IN ALL DIRECTIONS. SHOULD ANY DISCREPANCIES WITH THESE REQUIREMENTS ARISE DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
5. CONTRACTOR SHALL NOTIFY ENGINEER IF THE ILLUSTRATED GRADES CANNOT BE ACHIEVED WITHIN ACCESSIBLE AREAS, INCLUDING PARKING SPACES, ROUTES AND RAMPS.
6. CURB SHALL TRANSITION FROM FLUSH TO FULL DEPTH REVEAL WITHIN 6 FEET.
7. UNLESS OTHERWISE SPECIFIED, THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
8. PROPOSED BOTTOM OF CURB ELEVATIONS ALONG EXISTING STREETS ARE BASED ON EXISTING CONDITIONS INFORMATION AND SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL MATCH EXISTING EDGE OF PAVEMENT GRADE.
9. EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
10. ALL FLAT WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO MUNICIPAL/STATE STANDARDS.
11. EXISTING TREES OUTSIDE OF THE LIMIT OF WORK SHALL BE PROTECTED DURING CONSTRUCTION.
12. ALL DISTURBED AREAS OUTSIDE THE LIMIT OF WORK SHALL BE RESTORED IN KIND.
13. NEW CATCH BASINS SHALL INCLUDE ELIMINATOR HOODS AS SPECIFIED IN THE DETAILS.
14. NEW DRAINAGE PIPE SHALL BE DUAL WALL CORRUGATED HDPE (ADS N-12 OR APPROVED EQUAL), UNLESS OTHERWISE SPECIFIED.
15. ROOF DRAIN LEADERS SHALL BE 6" HDPE PIPE, UNLESS OTHERWISE SPECIFIED.
16. C-STORE & GAS CANOPY DRAIN LEADERS SHALL BE INSTALLED WITH A MINIMUM COVER OF 2' AND SHALL MAINTAIN POSITIVE PITCH TOWARDS THEIR RESPECTIVE CONNECTION POINTS.
17. THE AREA BELOW THE SUBSURFACE INFILTRATION SYSTEM (SIS) SHALL BE LEFT UNCOMPACTED.
18. ELEVATION OF LANDSCAPED AREAS ARE GIVEN AT PLANTED/SOD GRADE.

JAMES WESSELL  
BK. 49127 PG. 108

VILLAGE BUSINESS DISTRICT (VB)

VILLAGE BUSINESS DISTRICT (VB)

CONTRACTOR TO MAINTAIN POSITIVE PITCH AWAY FROM BUILDING

LIMIT OF WORK SHALL BE PROPERTY LINE

DC0-2 I=501.65 SB/DH (F) 505.09 STOCKADE FENCE

DC0-1 I=502.50 12" HDPE S=.01' 85 LF

RD-1 I=502.50 DOOR RD-2 I=502.00 PROPOSED CONVENIENCE STORE 4,464 S.F. FF=505.00

RD-4 I=502.50 DOOR RD-3 I=501.50 DOOR

CB-2 R=504.30 I=501.30(OUT)

CB-3 R=503.00 I=500.00(OUT)

DMH-3(HS4) R=504.00 I=499.20(CB2,3) I=499.10(OUT)

CB-4 R=501.70 I=498.70(OUT)

CB-5 R=503.80 I=500.80(OUT)

LIMIT OF WORK SHALL BE PROPERTY LINE

LIMIT OF WORK SHALL BE SAWCUT LINE

PROPOSED SUBSURFACE INFILTRATION SYSTEM 24.25'x59.50'x4' - 4 ROWS OF 15 CULTEC 360HD CHAMBERS (SEE DETAILS)

PROVIDE SMOOTH TRANSITION TO EXISTING PAVEMENT

(PUBLIC - VARIABLE WIDTH) (1933 S.H.L.O. 2980)

ROUTE 12 MAIN STREET

A.P. 33E-P12 N/F EDWARD OLSZTA BK. 51957 PG. 192

A.P. A.P. 33E-P02 N/F OXFORD VETERANS COUNCIL, INC BK. 5085 PG. 565

A.P. A.P. 33E-P02 N/F OXFORD VETERANS COUNCIL, INC BK. 5085 PG. 565

VILLAGE DISTRICT

AVENUE

MAIN PRIM SID TO MAIN

# NOT FOR CONSTRUCTION

DG PROJECT #:

21033

REVISIIONS:

REV	DATE	COMMENT
1	10/25/22	REVISED DRAINAGE
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
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7	10/23/23	REV PER MASS DOT COMMENTS
8		
9		

SEAL:

**PHILIP R. HENRY, P.E.**

PLANNING BOARD:

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CIVIL ENGINEER:

# CIVIL DESIGN GROUP, LLC

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The logo for Cumberland Farms. It features the word "Cumberland" in a large, bold, serif font. Below it, the word "FARMS" is written in a smaller, all-caps, serif font. Above the "C" in "Cumberland", there is a stylized graphic element consisting of a central leaf-like shape surrounded by a cluster of small circles of varying sizes, resembling a sunburst or a cluster of flowers.

PROJECT LOCATION:  
**235 MAIN STREET & 5 FAIRLAWN AVE  
OXFORD, MA 01540**

RAZE & REBUILD / ADD LAND  
**ORACLE #MA0617**

CALE:

20 0 10 20 40

GRAPHIC SCALE IN FEET

HEET:

**GRADING &  
DRAINAGE PLAN**

**C005.0**

ATE: 09/06/2022

## SOIL EROSION AND SEDIMENT CONTROL NOTES

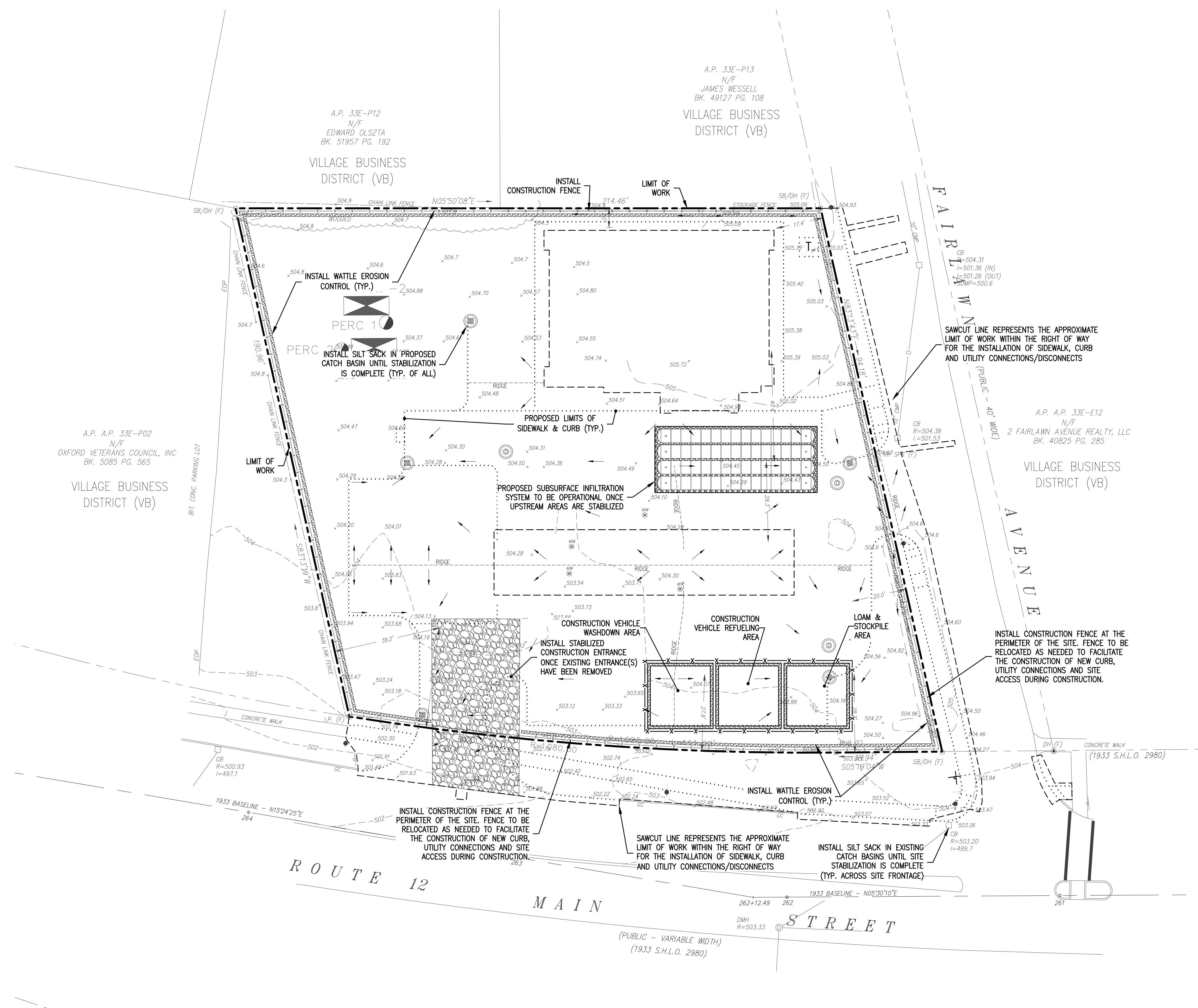
1. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING AND MAINTAINING ALL CONSTRUCTION RELATED CONDITIONS OUTLINED IN THE APPROVALS IN ADDITION TO THE ITEMS OUTLINED IN THESE CONSTRUCTION DOCUMENTS.
2. EXISTING BASE INFORMATION INCLUDING STRUCTURES, UTILITIES AND TOPOGRAPHY ARE TAKEN FROM PLAN ENTITLED "ALTA/NSPS LAND TITLE SURVEY, SHEET C002.0" PREPARED BY ODONE SURVEY & MAPPING, DATED 06/30/2022.
3. IN ACCORDANCE WITH THE EPA NPDES CONSTRUCTION GENERAL PERMIT RULES AND REGULATIONS, THE CONTRACTOR SHALL ADHERE TO PROCEDURES OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), PREPARED BY THE ENGINEER AND IS RESPONSIBLE FOR MAINTAINING A WEEKLY REPORT OF THE STATUS OF EROSION AND SEDIMENT CONTROL MEASURES INCLUDING ANY CORRECTIVE ACTIONS PERFORMED. THESE REPORTS INCLUDING THE SWPPP SHALL BE KEPT ONSITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND/OR FEDERAL OFFICIALS UPON REQUEST. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH RAINFALL EVENT OF 0.25 INCHES OR GREATER FOR FUNCTIONALITY.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE PLANS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS. THESE MEASURES SHALL BE FUNCTIONING PRIOR TO ANY EARTH DISTURBANCE INCLUDING DEMOLITION AND SHALL REMAIN IN PLACE UNTIL UPSTREAM SITE WORK IS COMPLETE AND THE GROUND COVER IS STABILIZED.
5. THE CONTRACTOR SHALL PERFORM ALL WORK, AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
6. CONTRACTOR SHALL IMPLEMENT TEMPORARY AND PERMANENT STABILIZATION METHODS IN ACCORDANCE WITH SECTION 2.2 'STABILIZATION REQUIREMENTS' IN THE 2012 GENERAL NPDES PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES.
7. THE SITE SHALL BE GRADED AND MAINTAINED SUCH THAT STORMWATER RUNOFF IS DIVERTED TO TEMPORARY SEDIMENTATION BASINS TO THE MAXIMUM EXTENT PRACTICABLE. TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED BY THE CONTRACTOR AND RELOCATED AS NEEDED AS THE PROJECT EVOLVES.
8. THE PROPOSED ONSITE DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS PRACTICABLE. ALL EXISTING AND PROPOSED CATCH BASIN INLETS SHALL BE PROTECTED WITH A SILT SACK (SEE DETAIL).
9. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT BASIN TO ALLOW FOR SUFFICIENT SETTLING PRIOR TO DISCHARGE.
10. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO LOCAL, STATE AND FEDERAL STANDARDS AND MAY INCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
11. ABUTTING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS FROM THIS PROJECT AT ALL TIMES. WORK ON ABUTTING PROPERTY SHALL REQUIRE WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO ANY LAND DISTURBANCE.
12. THE LIMIT OF WORK FOR THIS PROJECT SHALL BE SHOWN ON THE PLANS AS SAWCUT LINES, WATTLE LINES, AND/OR CONSTRUCTION FENCE LINES. EXISTING FEATURES OUTSIDE LIMIT OF WORK LINE ARE TO REMAIN UNLESS OTHERWISE SPECIFIED AND THE EXISTING FEATURES WITHIN LIMIT OF WORK LINE SHALL BE REMOVED UNLESS OTHERWISE SPECIFIED.
13. THE EROSION CONTROL MEASURES ILLUSTRATED IN THIS PLAN SET SHALL BE THE MINIMUM REQUIRED CONTROLS IMPLEMENTED. THE CONTRACTOR SHALL KEEP ADDITIONAL EROSION CONTROL MEASURES SUCH AS WATTERS ONSITE AT ALL TIMES TO RELOCATE OR ADD SUCH MEASURES AS THE PROJECT EVOLVES OR AN UNFORESEEN CONDITION OCCURS.
14. STOCKPILES SHALL BE LOCATED ONSITE OUTSIDE OF ALL WETLAND RESOURCE AREA BUFFER ZONES IF PRESENT ON SITE. EROSION CONTROL MEASURES SHALL BE INSTALLED AT THE FOOT OF THE STOCKPILE AND SHALL BE COVERED TO PREVENT WASHOUT.
15. ALL PROPOSED SLOPES 3:1 AND STEEPER SHALL BE STABILIZED WITH AN EROSION CONTROL MATTING AND SHALL BE HYDROSEEDED.
16. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED AFTER FINAL SITE STABILIZATION. DISTURBED SOIL AREAS RESULTING FROM THE REMOVAL OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED AS SOON AS PRACTICABLE BUT NO MORE THAN 14 DAYS OF REMOVAL.

## ESTIMATED CONSTRUCTION SEQUENCE

THIS PROJECT IS PROPOSED TO BE A SINGLE PHASE PROJECT WITH AN 18-WEEK CONSTRUCTION SCHEDULE, EXCLUDING WEATHER SETBACKS.

- INSTALL EROSION CONTROL AND CONSTRUCTION FENCE.
- ABATEMENT OF EXISTING BUILDINGS, IF APPLICABLE.
- DISCONNECT UTILITIES, DEMOLISH EXISTING BUILDING & REMOVE PAVEMENT/CURB.
- ROUGH GRADE EARTH & INSTALL DRAINAGE SYSTEM.
- INSTALL BUILDING FOUNDATION.
- INSTALL UNDERGROUND STORAGE TANKS.
- INSTALL UTILITY SERVICES & BUILDING CONSTRUCTION.
- INSTALL FUEL PIPES, DISPENSERS & CONCRETE DISPENSER PADS.
- INSTALL GAS CANOPY, FIRE SUPPRESSION SYSTEM & COMPLETE BUILDING EXTERIOR CONSTRUCTION
- COMPLETE UTILITY/DRAINAGE CONNECTIONS & PLACE BINDER.
- INSTALL SIDEWALKS, PLACE TOP COAT & STRIPE.
- INSTALL FENCE, WOODEN GUIDE RAIL, SIGNS & LANDSCAPING.

LEGEND			GENERAL ABBREVIATIONS
EXISTING	PROPOSED	DESCRIPTION	
		PROPERTY LINE	A.P.
		DRAIN MANHOLE	BC
		CATCH BASIN	BCC
		DRAIN PIPE	BIT. CONC
		HYDRANT	BW
		SIGN	CB
		SITE LIGHT	C.L.F.
		FENCE	DCO
		UTILITY POLE	CONC
		INDEX CONTOUR	DH (F)
		MINOR CONTOUR	DMH
680		SPOT ELEVATION	DWFG
		TREE LINE	DWL
		IRON PIPE/IRON PIN	DYCL
		MONITORING WELL	EOP
		SOIL BORING	ECC
		CONSTRUCTION FENCE	EHH
		EDGE OF CURB/PAVEMENT	FF=
		PROPOSED BUILDING PAD & GAS PAD FOOTPRINT	FY
		WATTLES	GC
		STABILIZED CONSTRUCTION ENTRANCE	GM
			HDPE
			I=
			LF
			LA
			MCC
			ME
			N/A
			N/F
			OC
			R=
			RD
			REM
			RY
			SFM
			SWEL
			SWL
			SY
			TC
			TW
			UP
			VC
			WG
			WSO



NOT FOR CONSTRUCTION		
DG PROJECT #:		21033
REVIZIONS:		
REV	DATE	COMMENT
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8		
9		

The seal is circular with a serrated outer edge. The words "COMMONWEALTH OF MASSACHUSETTS" are written in an arc along the top inner edge, and "PROFESSIONAL ENGINEER" are written in an arc along the bottom inner edge. In the center, the name "PHILIP R. HENRY" is written above "CIVIL", which is above "No. 48547". Below "No. 48547" is the word "REGISTERED" and at the bottom, "PROFESSIONAL ENGINEER".

# PHILIP R. HENRY, P.E.

PROJECT LOCATION:  
**235 MAIN STREET & 5 FAIRLAWN AVE  
OXFORD, MA 01540**

RAZE & REBUILD / ADD LAND  
OP. # CLE-17MA0615

SCALE:

0 10 20 40

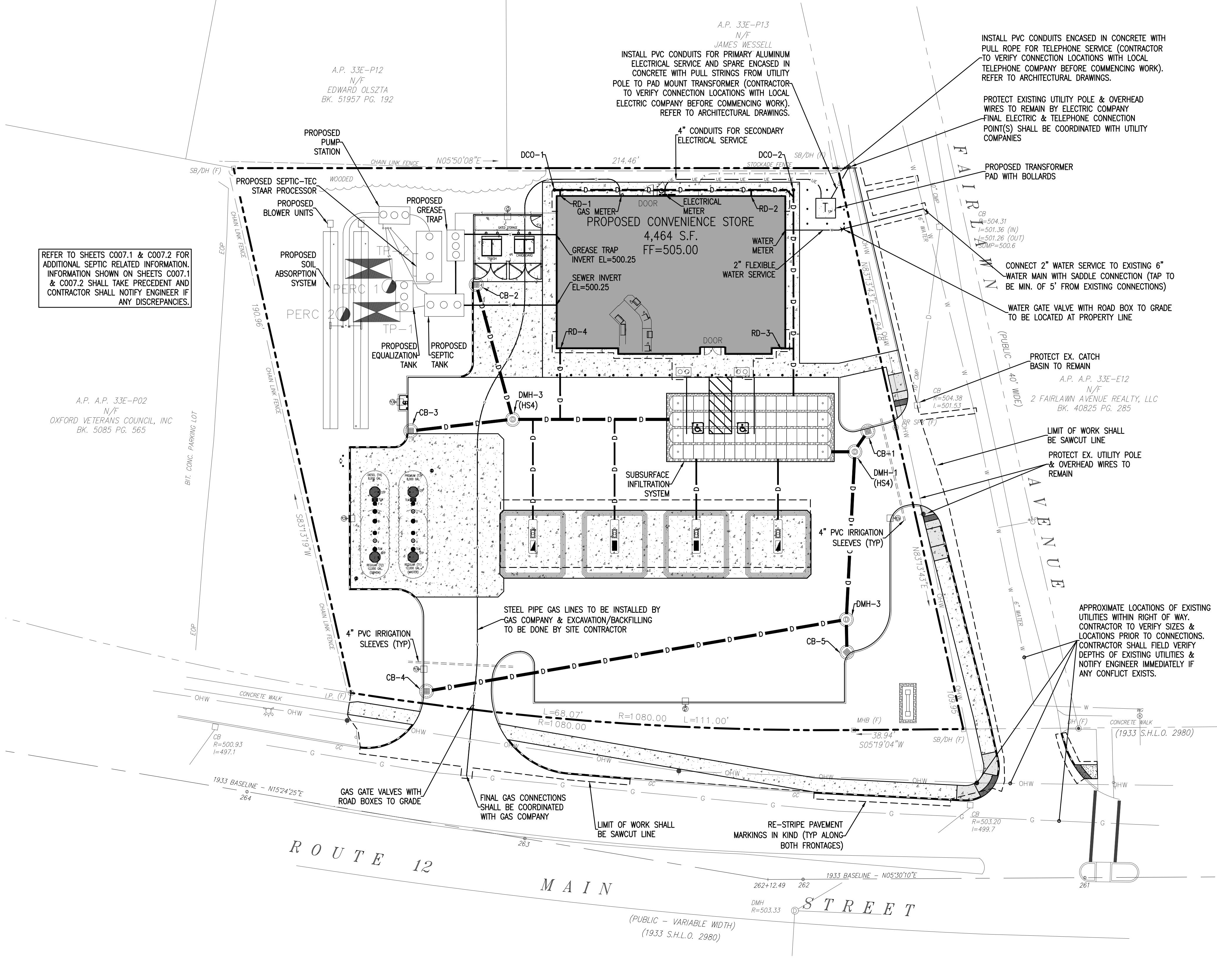
GRAPHIC SCALE IN FEET

HEET: **EROSION &  
SEDIMENTATION  
CONTROL PLAN  
C006.0**

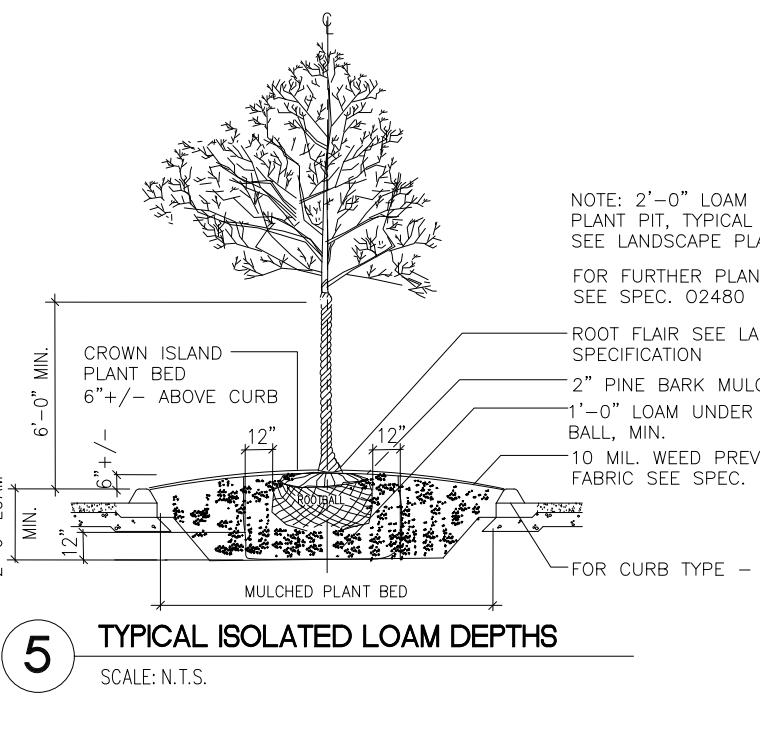
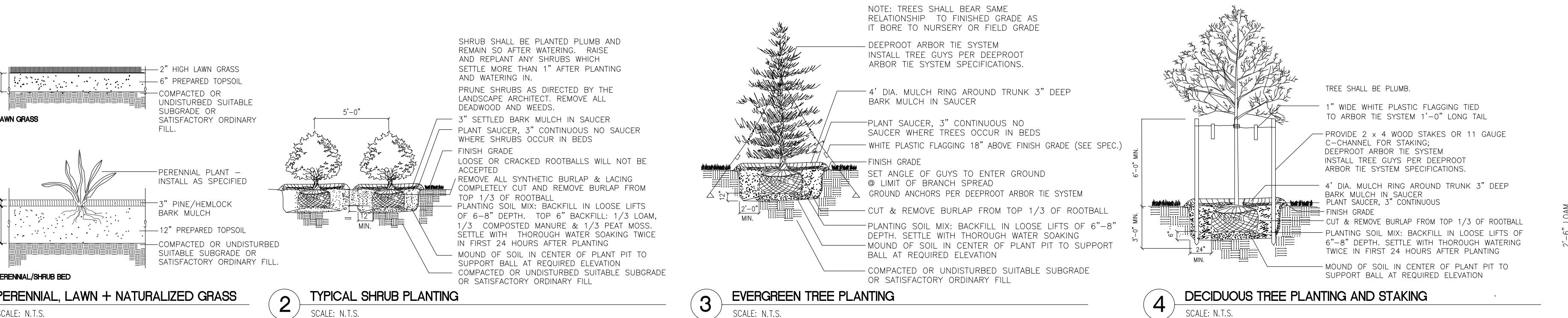
### UTILITY NOTES

- ALL WATER SERVICES SHALL BE INSTALLED WITH A MINIMUM 5' AND A MAXIMUM OF 6' OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- ALL WATER SERVICE INSTALLATION METHODS AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- WATER AND GAS MAINS DEPICTED IN THE RIGHT OF WAY ARE BASED ON RECORD DRAWINGS. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONNECTION.
- PROPOSED GAS SERVICE LOCATION IS APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION, BACKFILL AND COMPACTION FOR THE GAS LINE.
- DOE TO THE SCALE OF THE SITWORK DRAWINGS, THE EXACT LOCATION OF UTILITY SERVICES TO THE BUILDING SHALL BE VERIFIED WITH THE BUILDING DRAWINGS.
- ALL UTILITIES, PIPE MATERIALS, STRUCTURES, AND INSTALLATION METHODS SHALL CONFORM TO MUNICIPAL STANDARDS AND REQUIREMENTS.
- SUITABLE, TEMPORARY PLUGS SHALL BE INSTALLED IN THE OPEN ENDS OF UTILITY SERVICES TO THE BUILDING PRIOR TO BACKFILLING. STUB LOCATIONS SHALL BE MARKED IN THE FIELD SO THAT THEY MAY BE EASILY LOCATED.
- EXISTING WATER SERVICES ARE TO BE CUT & CAPPED AT THE MAIN, UNLESS OTHERWISE SPECIFIED. CONTRACTOR SHALL VERIFY THE SAME WITH THE DEPARTMENT OF PUBLIC WORKS.
- WATER SERVICE CONNECTIONS SHALL BE INSPECTED BY THE MUNICIPAL WATER & SEWER DEPARTMENT.
- EXISTING DRAINAGE AND UTILITY RIM ELEVATIONS LOCATED WITHIN THE LIMIT OF WORK TO REMAIN SHALL BE ADJUSTED BY THE CONTRACTOR TO MATCH NEW FINISHED GRADE.
- WATER SERVICE SHALL PASS BELOW ROOF DRAIN LINES AND MAINTAIN 12" OF SEPARATION.
- CONTRACTOR TO FIELD VERIFY DEPTH OF EXISTING UTILITIES ALONG THE PATH OF THE PROPOSED UTILITY CONNECTIONS AND NOTIFY ENGINEER IMMEDIATELY IF A CONFLICT EXISTS.
- THE PROPOSED SEPTIC SYSTEM IS SHOWN DIAGRAMMATICALLY. THE FINAL SEPTIC DESIGN SHALL BE SUBMITTED UNDER SEPARATE COVER TO THE BOARD OF HEALTH.
- PERMITS FOR PROPOSED UTILITY CONNECTIONS WILL BE COORDINATED BY THE RESPECTIVE UTILITY COMPANIES.

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
○	○	PROPERTY LINE
□	○	DRAIN MANHOLE
○	○	CATCH BASIN
○	○	SEWER MANHOLE
○	○	TELEPHONE MANHOLE
— D —	— D —	DRAIN PIPE
— OHW —	— OHW —	GAS LINE
— UE —	— UE —	OVERHEAD WIRES
— T —	— T —	UNDERGROUND WIRES
— W —	— W —	TELEPHONE LINE
— S —	— S —	WATER LINE
— SEWER LINE —	— SEWER LINE —	SEWER LINE
— AP —	— AP —	ACCESSIBLE PAVEMENT
— MARKINGS —	— MARKINGS —	MARKINGS
— S —	— S —	SIGN
— L —	— L —	LIGHT
— U —	— U —	UTILITY POLE
— C —	— C —	BUILDING COLUMN
— CONCRETE —	— CONCRETE —	CONCRETE
— SIDEWALK/PAD —	— SIDEWALK/PAD —	SIDEWALK/PAD
— BITUMINOUS CONCRETE —	— BITUMINOUS CONCRETE —	BITUMINOUS CONCRETE
— SIDEWALK —	— SIDEWALK —	SIDEWALK
— IRON PIPE/IRON PIN —	— IRON PIPE/IRON PIN —	IRON PIPE/IRON PIN
— MW-1 —	— MW-1 —	MONITORING WELL
— SB-5 —	— SB-5 —	SOIL BORING
— A.P. —	— A.P. —	A.P.
— BC —	— BC —	BC
— BCC —	— BCC —	BCC
— BIT. CONC —	— BIT. CONC —	BIT. CONC
— BW —	— BW —	BW
— CB —	— CB —	CB
— C.L.F. —	— C.L.F. —	C.L.F.
— DCO —	— DCO —	DCO
— SCO —	— SCO —	SCO
— CONC —	— CONC —	CONC
— DH (F) —	— DH (F) —	DH (F)
— DMH —	— DMH —	DMH
— DWFG —	— DWFG —	DWFG
— DWL —	— DWL —	DWL
— DYCL —	— DYCL —	DYCL
— EOP —	— EOP —	EOP
— ECC —	— ECC —	ECC
— EHH —	— EHH —	EHH
— FF —	— FF —	FF
— FY —	— FY —	FY
— GC —	— GC —	GC
— GM —	— GM —	GM
— HDPE —	— HDPE —	HDPE
— INVERT ELEVATION —	— INVERT ELEVATION —	INVERT ELEVATION
— LINEAL FEET —	— LINEAL FEET —	LINEAL FEET
— LANDSCAPED AREA —	— LANDSCAPED AREA —	LANDSCAPED AREA
— MONOLITHIC CONCRETE CURB —	— MONOLITHIC CONCRETE CURB —	MONOLITHIC CONCRETE CURB
— MATCH EXISTING —	— MATCH EXISTING —	MATCH EXISTING
— INVERT NOT AVAILABLE —	— INVERT NOT AVAILABLE —	INVERT NOT AVAILABLE
— NOW OR FORMERLY —	— NOW OR FORMERLY —	NOW OR FORMERLY
— ON CENTER —	— ON CENTER —	ON CENTER
— RIM ELEVATION —	— RIM ELEVATION —	RIM ELEVATION
— ROOF GRAIN —	— ROOF GRAIN —	ROOF GRAIN
— REMOVE —	— REMOVE —	REMOVE
— REAR YARD —	— REAR YARD —	REAR YARD
— SEWER FORCE MAIN —	— SEWER FORCE MAIN —	SEWER FORCE MAIN
— SOLID WHITE EDGE LINE —	— SOLID WHITE EDGE LINE —	SOLID WHITE EDGE LINE
— SOLID WHITE LINE —	— SOLID WHITE LINE —	SOLID WHITE LINE
— SIDE YARD —	— SIDE YARD —	SIDE YARD
— SLOPED GRANITE CURB —	— SLOPED GRANITE CURB —	SLOPED GRANITE CURB
— TOP OF CURB —	— TOP OF CURB —	TOP OF CURB
— TOTALLY —	— TOTALLY —	TOTALLY
— UTILITY POLE —	— UTILITY POLE —	UTILITY POLE
— VITRIFIED CLAY —	— VITRIFIED CLAY —	VITRIFIED CLAY
— WATER GATE —	— WATER GATE —	WATER GATE
— WATER SHUT-OFF —	— WATER SHUT-OFF —	WATER SHUT-OFF



PLANT MATERIAL LIST			
SYM.	QTY.	BOTANICAL NAME	COMMON NAME
DECIDUOUS AND ORNAMENTAL TREES			
BNC	4	BETULA NIGRA "HERITAGE"	HERITAGE RIVERBIRCH
PSC	3	PRUNUS SARGENTII "COLUMNARIS"	COLUMNAR SARGENT CHERRY
GT	3	GLEDITIA T. I. "SKYLINE"	SKYLINE HONEYLOCUST
SHRUBS			
HM	16	HYDRANGEA MACROPHYLLA "NIKKO BLUE"	NIKKO BLUE HYDRANGEA
JS	11	JUNIPERUS CHINENSIS "SARGENTI"	SARGENTS JUNIPER
TMD	14	TAXUS MEDIA X DENSIFORMIS	DENSIFORMIS YEW
PERENNIALS AND GRASSES			
CA	52	CALMAGROSTIS X ACUTIFLORA	FEATHER REED GRASS
FE	49	FESTUCA C. "ELIAH BLUE"	ELIAH BLUE FESCUE
HH	50	HEMEROCALLIS "HAPPY RETURNS"	HAPPY RETURNS DAYLILIES
IS	50	IRIS SIBERICA "CAESAR'S BROTHER"	CAESAR'S BROTHER'S IRIS
GENERAL NOTES			
1. CONTRACTOR SHALL MAKE A SITE VISIT PRIOR TO BIDDING TO EXAMINE EXISTING CONDITIONS FOR THEMSELVES. CONTRACTOR TO FAMILIARIZE THEMSELVES WITH DESIGN DOCUMENTS, NOTES & DETAILS AND THE MASSDOT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, CURRENT EDITION.			
2. CONTRACTOR SHALL NOTIFY/COORDINATE WITH THE MUNICIPALITY PRIOR TO PLANT MATERIAL INSTALLATION.			
3. PRIOR TO THE PRE-CONSTRUCTION MEETING, THE CONTRACTOR SHALL CONTACT DIG SAF @ 1-888-344-7233 TO HAVE THE EXISTING UTILITIES MARKED.			
4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS. SEE SPECIFICATION.			
5. ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK," PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ANSI Z60.1-CURRENT EDITION.			
6. ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINER GROWN. NO PLASTIC BURLAP.			
7. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.			
8. HEAL ALL CONSTRUCTION SCARS WITH NATURALIZED GRASS, LAWN OR MULCH AS INDICATED ON PLAN.			
9. "DRY ROOTS" SHALL BE ADDED TO ALL NEW TREE PLANTING PITS. ALL NEW LOAM SHALL BE TESTED AND AMENDED AS STATED IN THE LOAM REPORT PROVIDED BY LOAM SUPPLIER.			
10. LANDSCAPE CONTRACTOR SHALL SUBMIT A WATERING SCHEDULE PROGRAM FOR THE 60 DAY MAINTENANCE PERIOD TO OWNER FOR ALL PROPOSED PLANT MATERIAL.			
11. PROTECT EXISTING PLANT MATERIAL WITHIN CONSTRUCTION LIMITS. PROVIDE WATERING PROGRAM FOR ALL PROPOSED PLANT MATERIAL DURING CONSTRUCTION.			
IRRIGATION NOTES			
1. THE DESIGN/BUILD IRRIGATION SUB-CONTRACTOR SHALL PROVIDE A COMPLETE SYSTEM FOR THE IRRIGATION AREAS SHOWN ON THE PLAN, WHICH INCLUDES NEW AND EXISTING TRANSPLANTED PLANT MATERIALS. SHOP DRAWINGS SHALL BE PROVIDED AT A SUITABLE SCALE TO ILLUSTRATE THAT THE DESIGNATED PLANT MATERIALS WILL BE IRRIGATED BY EITHER SPRAY HEADS, MIST HEADS OR Drip IRRIGATION TUBING.			
2. IRRIGATION TO BE COORDINATED WITH GENERAL CONTRACTOR TO LOCATE THE NECESSARY PVC SLEEVING TO COMPLETE IRRIGATION PROGRAM.			
3. ALL LAWN AREAS SHALL BE SPRAY HEAD IRRIGATED. THE HEADS SHALL BE LOCATED FOR HEAD TO HEAD COVERAGE WITH ABSOLUTELY NO OVER-SPRAY ONTO THE PAVEMENT.			
4. ALL TREES, SHRUBS AND GROUND COVER SHALL BE Drip IRRIGATED/IRRIGATED WITH SHRUB MIST HEADS. CONTRACTOR SHALL BE AWARE THAT THE IRRIGATION SYSTEM SHALL BE ROUTED TO THE PYLON SIGN PLANTER AND PLANTERS AT THE BUILDING.			
5. THE IRRIGATION LAYOUT AND ALL OF THE COMPONENTS SHALL CONFORM TO THE SPECIFICATIONS. THE SPECIFICATIONS CALL FOR SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL, AS WELL AS CONFORMANCE TO THE MATERIALS SPECIFIED.			
6. THE CONTRACTOR SHALL BE EXTREMELY CAREFUL DURING THE INSTALLATION PROCESS NOT TO DISTURB NEW OR EXISTING PLANT MATERIALS. THE CONTRACTOR IS TO COORDINATE HIS WORK WITH OTHER SUB-CONTRACTORS.			
7. SLEEVING UNDER PAVEMENTS MUST BE AVAILABLE AND IN THE PROPER LOCATION PRIOR TO PAVING.			
8. THE IRRIGATION CONTRACTOR SHALL CONFORM TO ANY LOCAL CODES OR ORDINANCES THAT MAY BE REQUIRED TO COMPLETE THE WORK.			
9. THE IRRIGATION ALTERNATE SHALL INCLUDE THE COST OF CONNECTING TO THE BUILDING WATER SERVICE DOWN STREAM OF THE BACK FLOW PREVENTER OF THE IRRIGATION WELL.			
10. THE IRRIGATION CONTRACTOR SHALL TEST WATER SOURCE FOR WATER QUALITY INCLUDING MINERALS THAT MAY CAUSE STAINING OF CONCRETE, GRANITE, PAVEMENT & CURBS.			
LEGEND			
•	PROTECT EXISTING TREES TO REMAIN, TYP.		
[dotted pattern]	SEEDED LAWN (SPRAY-HEAD IRRIGATION)		
[solid pattern]	EVERGREEN TREES (Drip OR MIST HEAD IRRIGATION)		
[cross-hatch pattern]	DECIDUOUS SHADE TREES (Drip OR MIST HEAD IRRIGATION)		
[+]	ORNAMENTAL & FLOWERING TREES (Drip OR MIST HEAD IRRIGATION)		
(+)	EVERGREEN SHRUBS (Drip OR MIST HEAD IRRIGATION)		
(○)	DECIDUOUS SHRUBS (Drip OR MIST HEAD IRRIGATION)		
(○)	PERENNIALS (Drip OR MIST HEAD IRRIGATION)		



NOT FOR CONSTRUCTION		
CDG PROJECT #: 21033		
REVISIONS:		
REV	DATE	COMMENT
1	10/25/22	REVISED DRAINAGE
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
3	02/14/23	ADDED PRIVACY FENCE ALONG PORTION OF REAR LOT LINE
4	04/20/23	90% PLANS
5	05/04/23	REV PER MASS DOT COMMENTS
6	07/11/23	REV PER MASS DOT COMMENTS
7	10/23/23	REV PER MASS DOT COMMENTS
8		
9		

SEAL:

PHILIP R. HENRY, P.E.

PLANNING BOARD:

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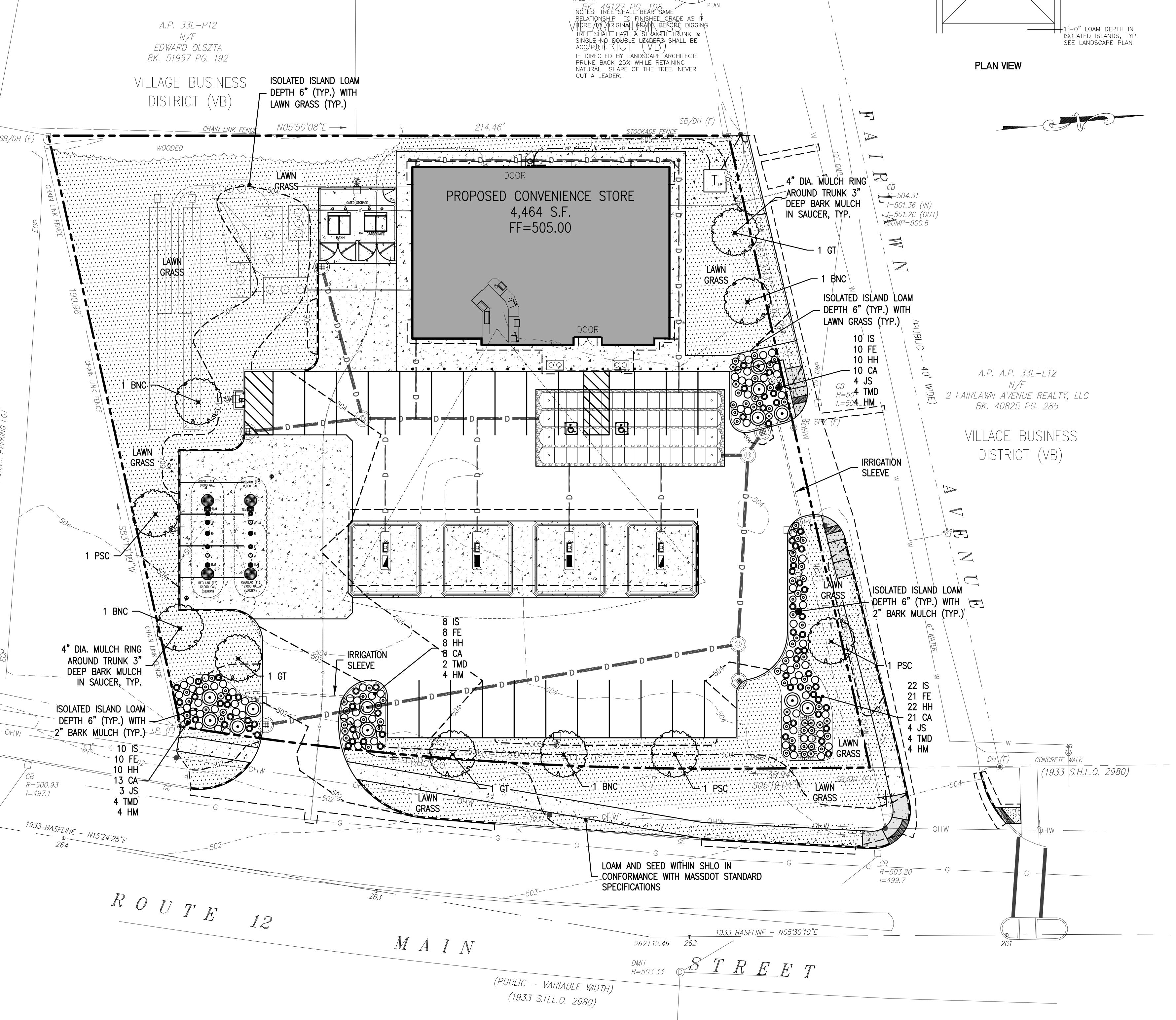
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CIVIL ENGINEER:  
**CIVIL DESIGN GROUP, LLC**  
 21 HIGH STREET, SUITE 207  
 NORTH ANDOVER, MA 01845  
 www.cdgengineering.com  
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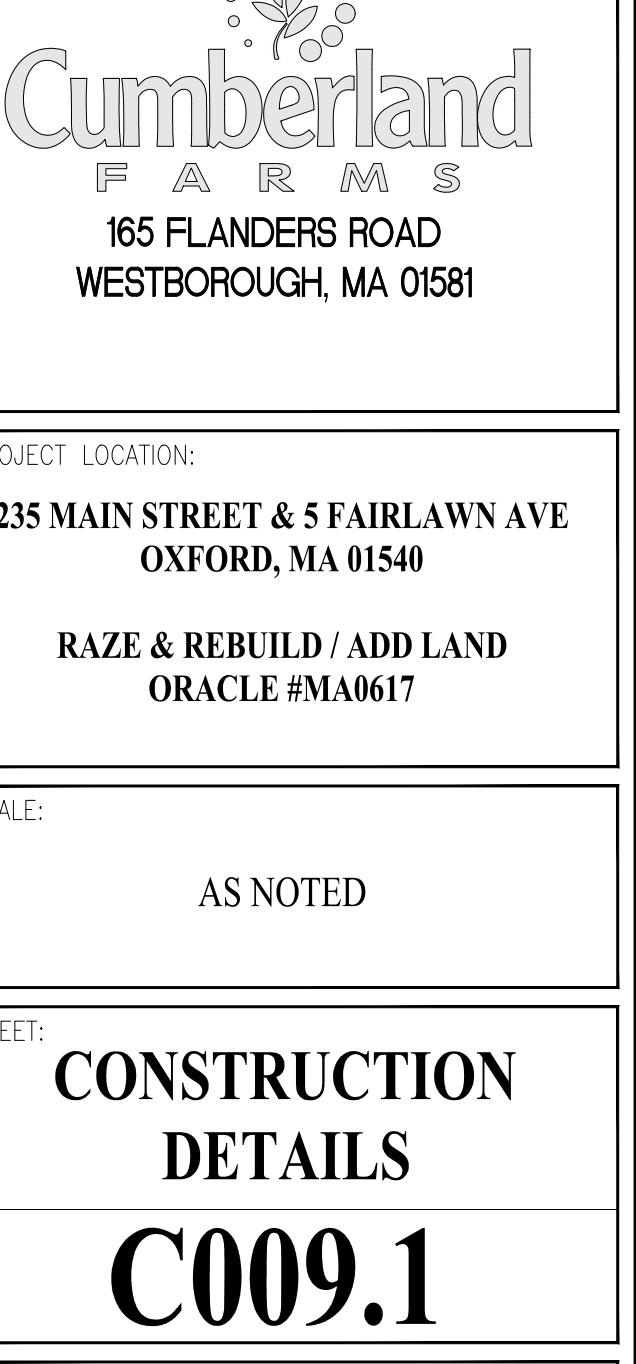
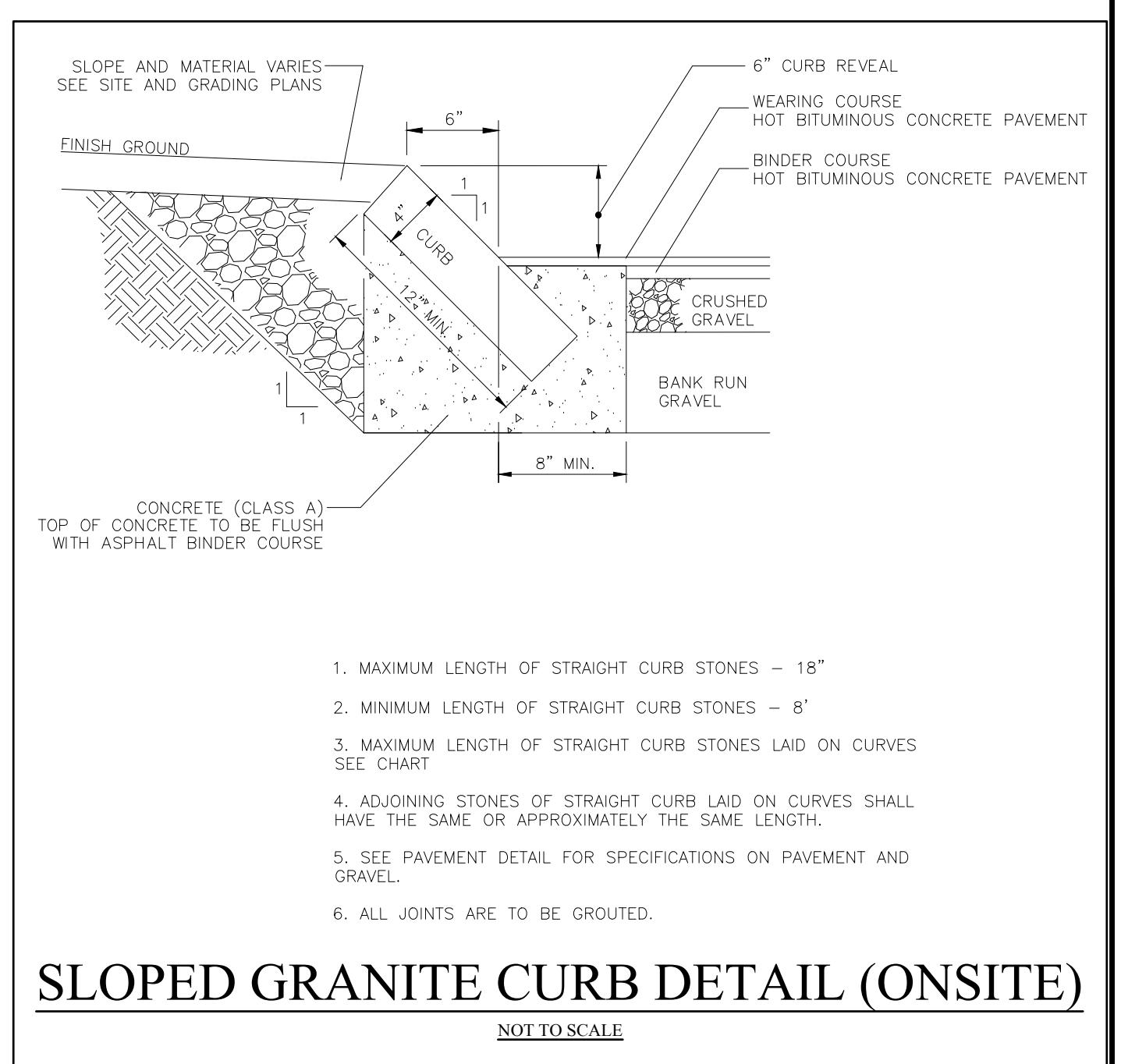
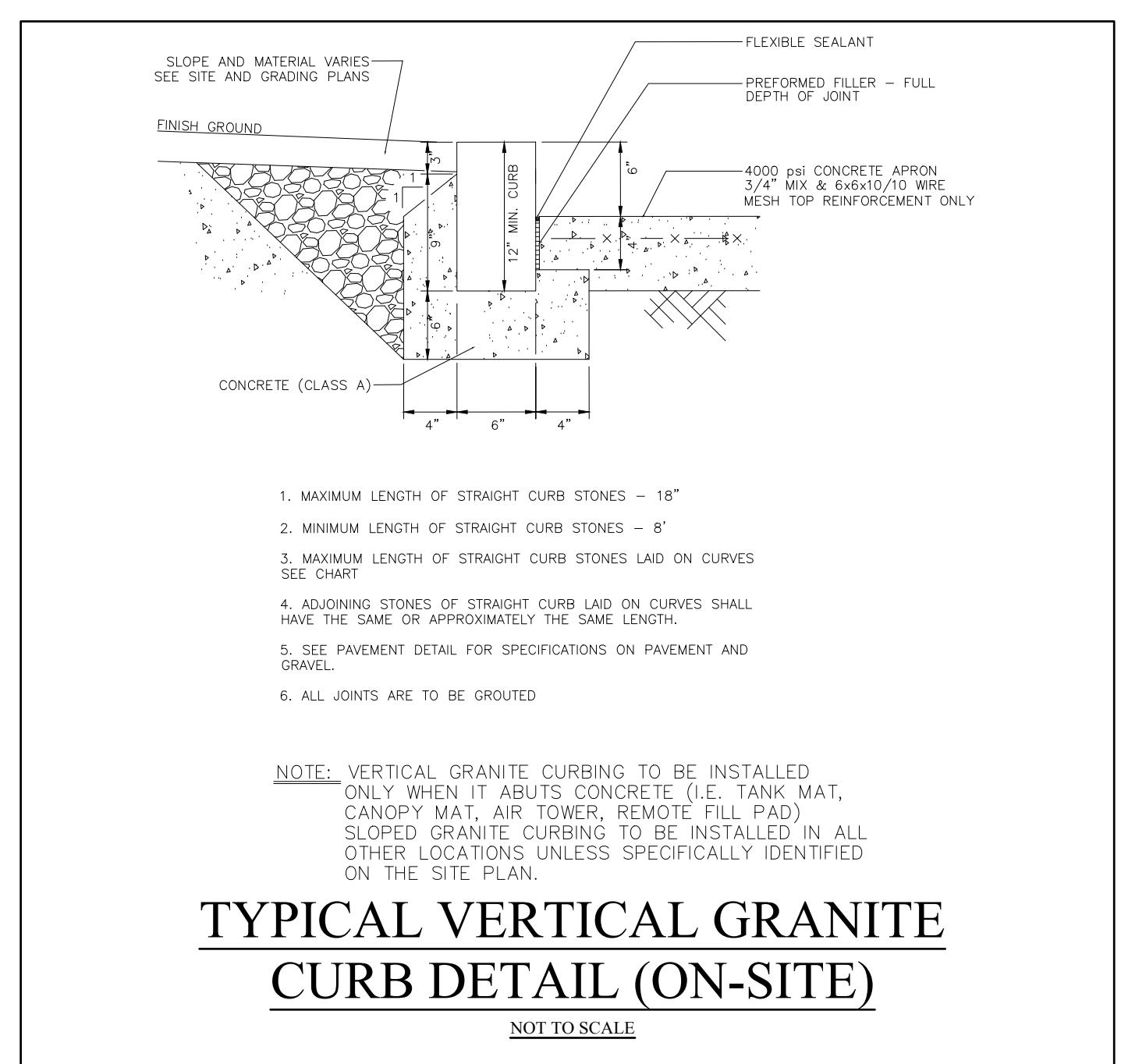
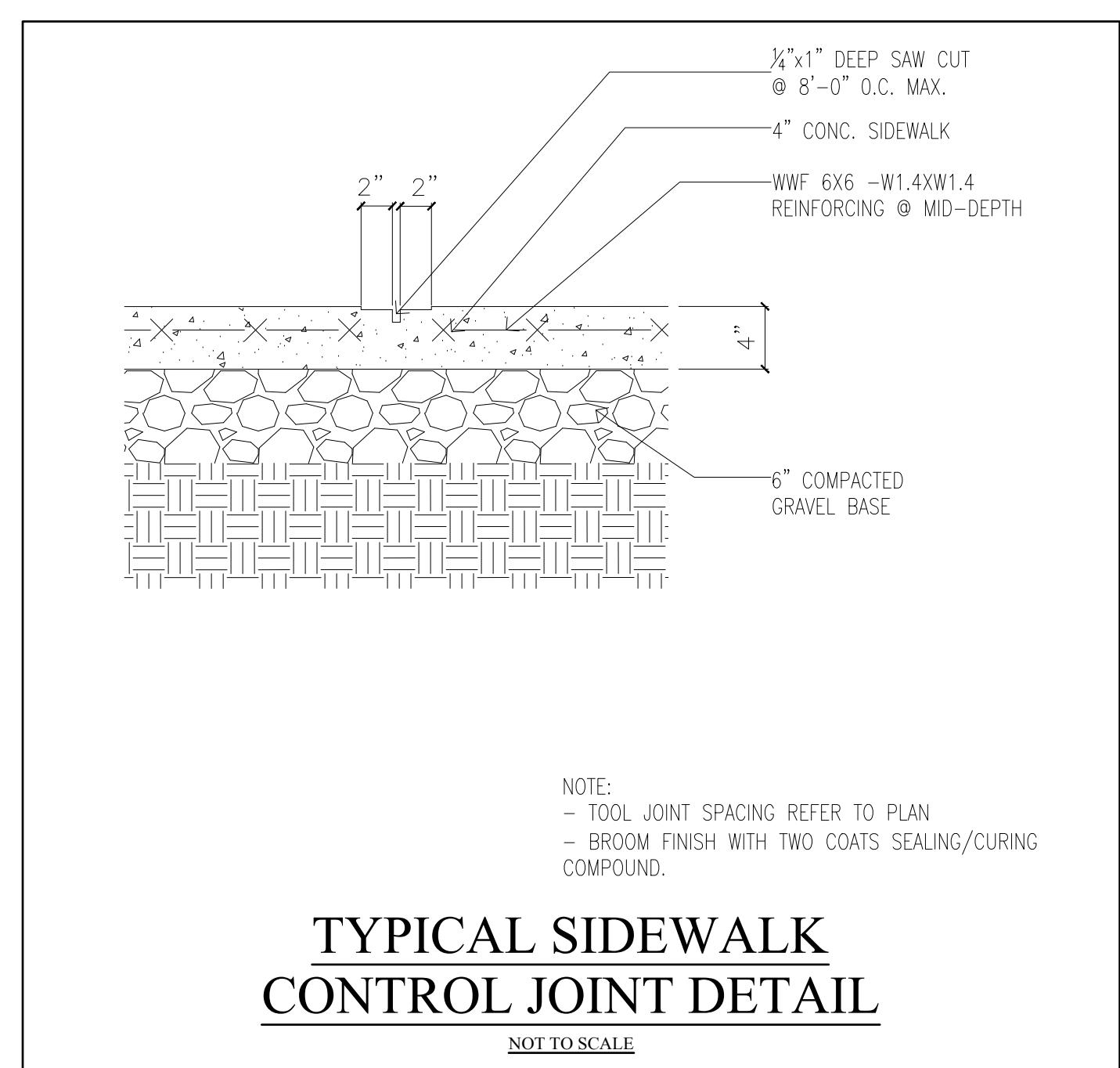
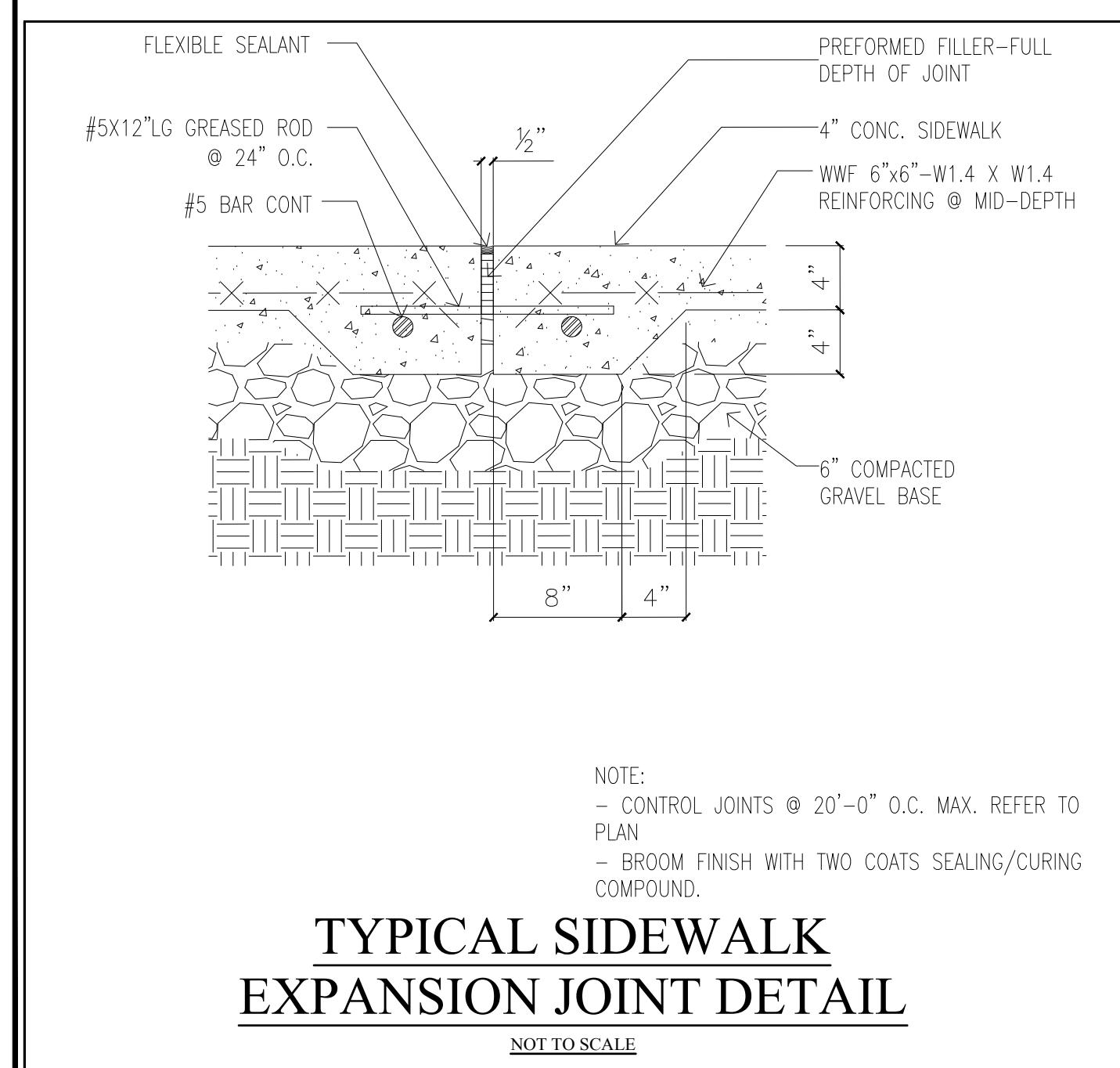
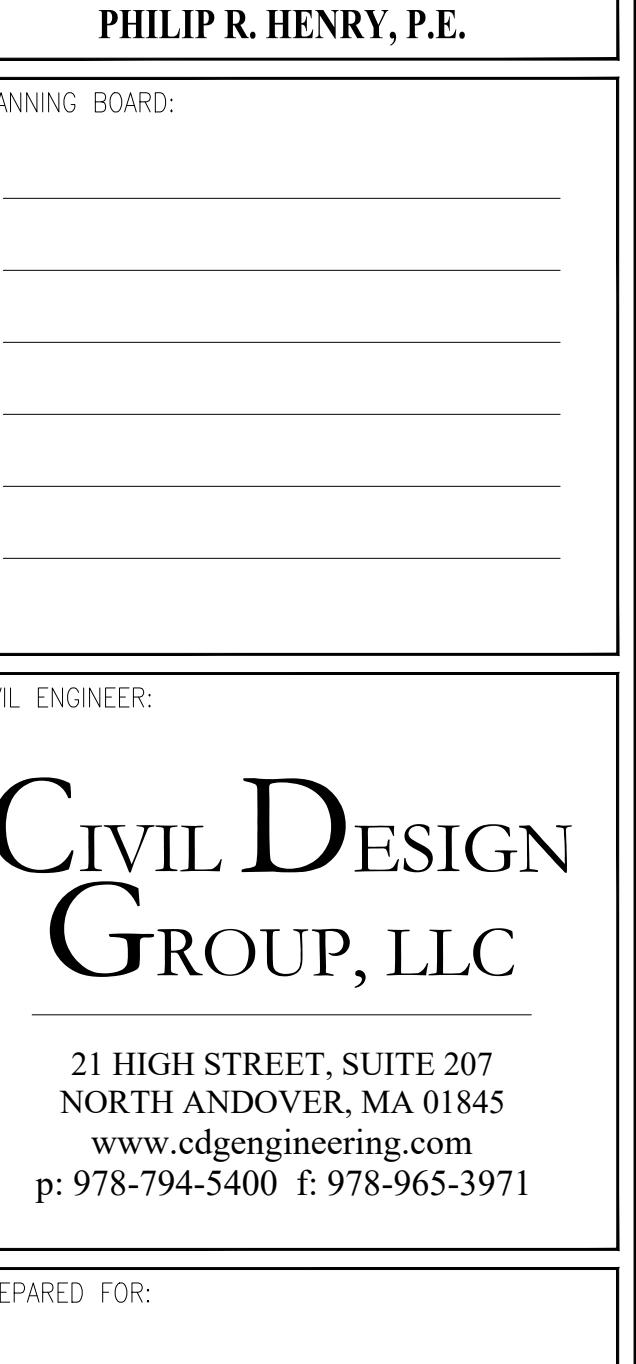
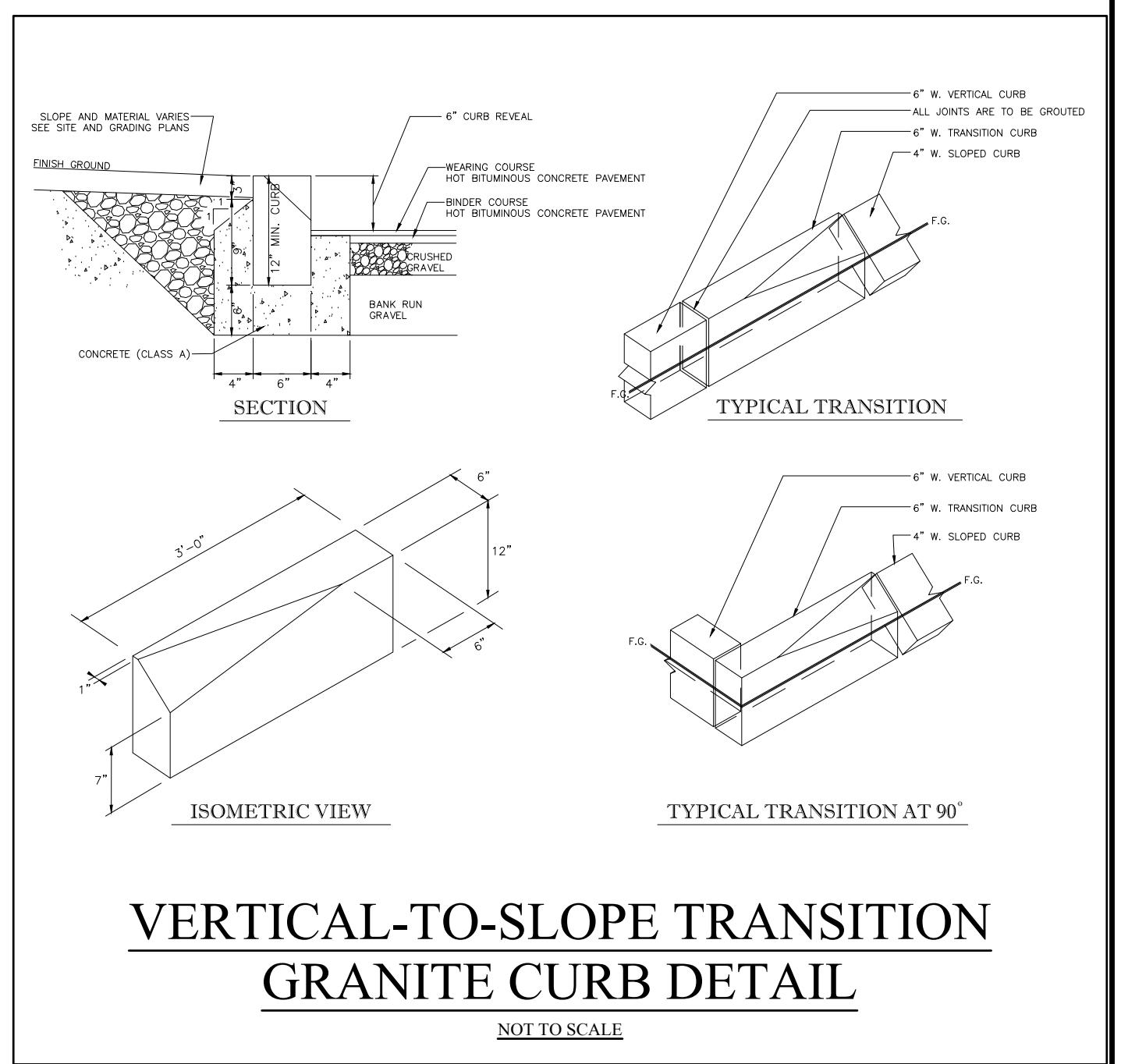
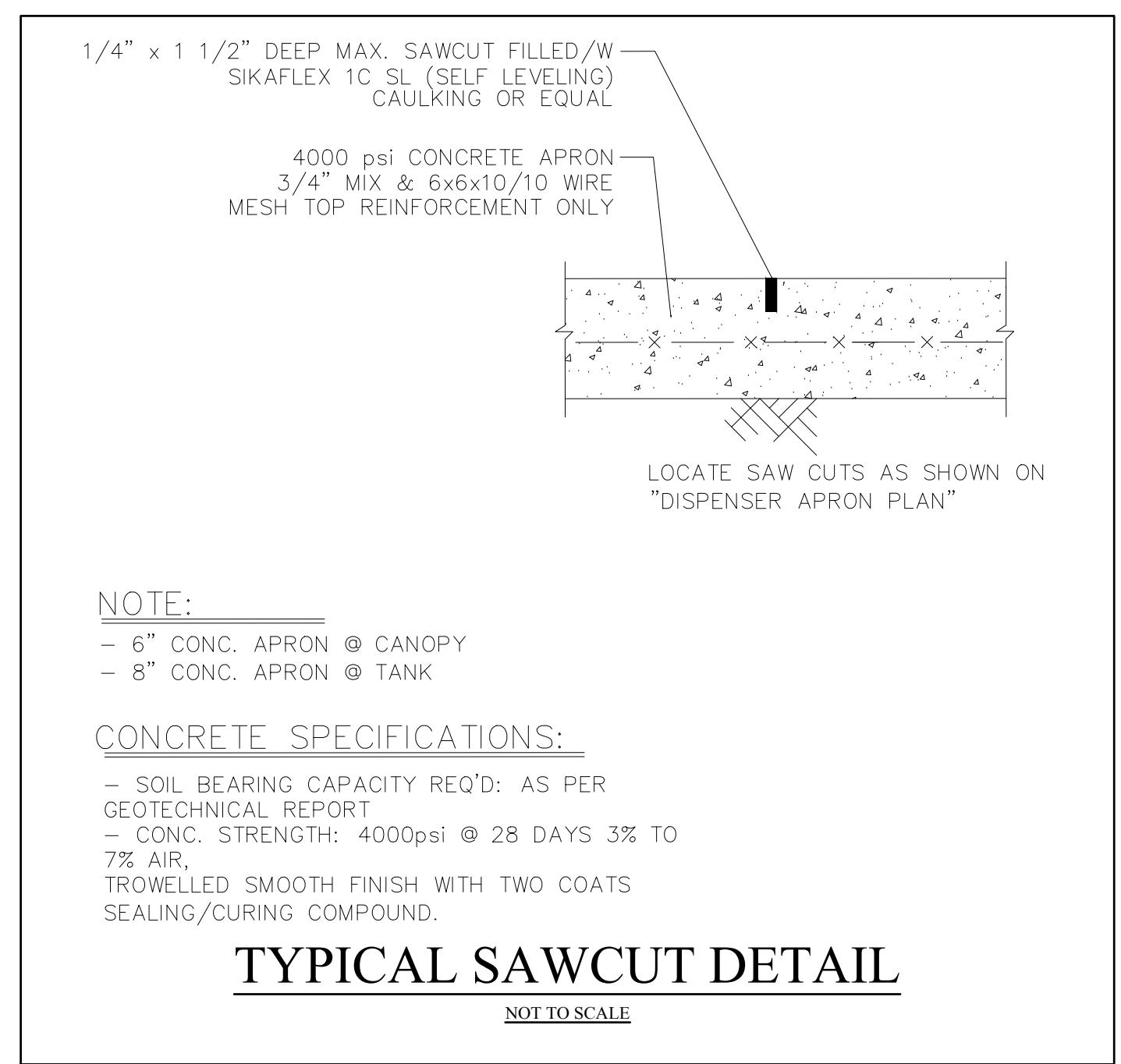
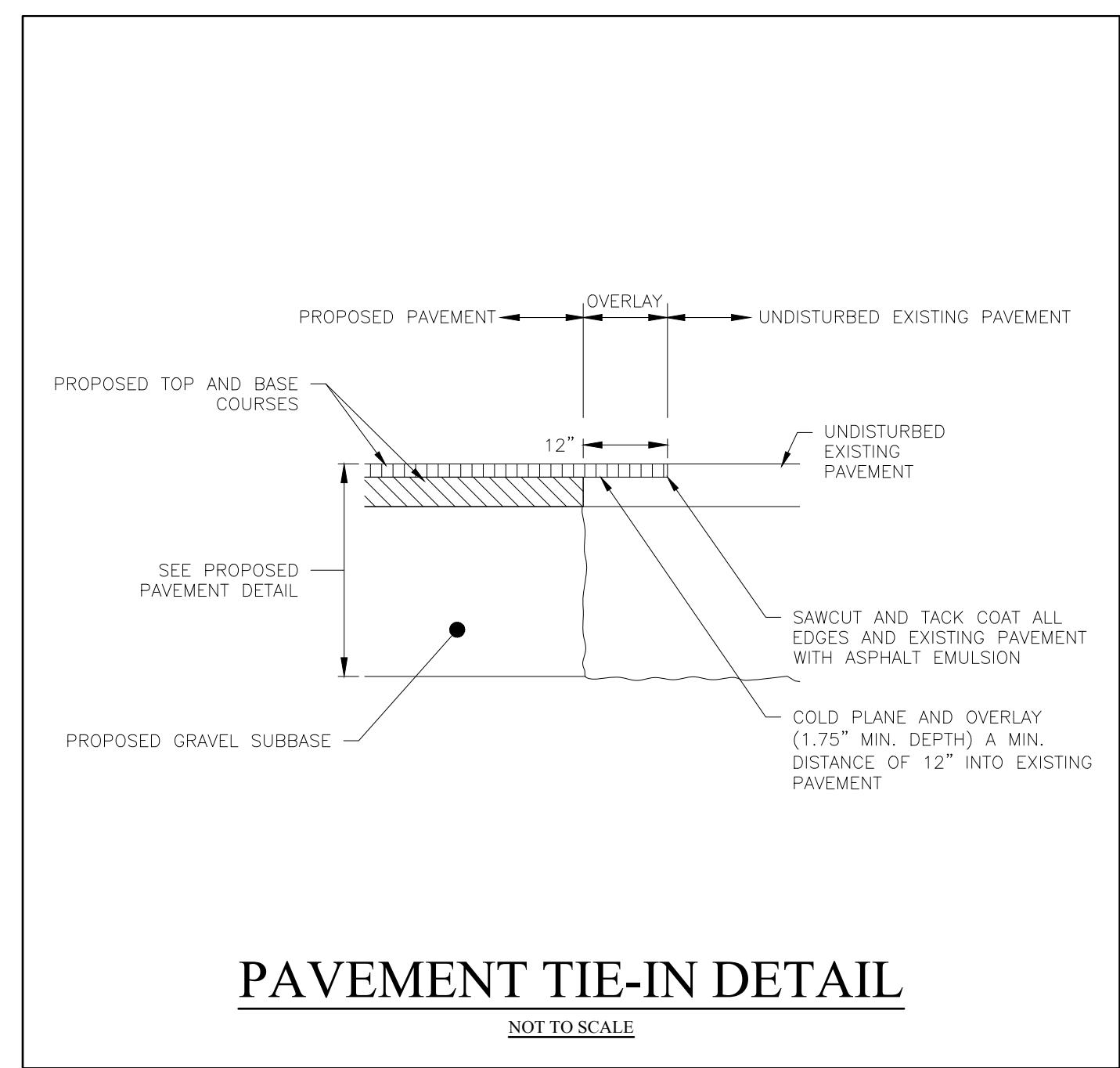
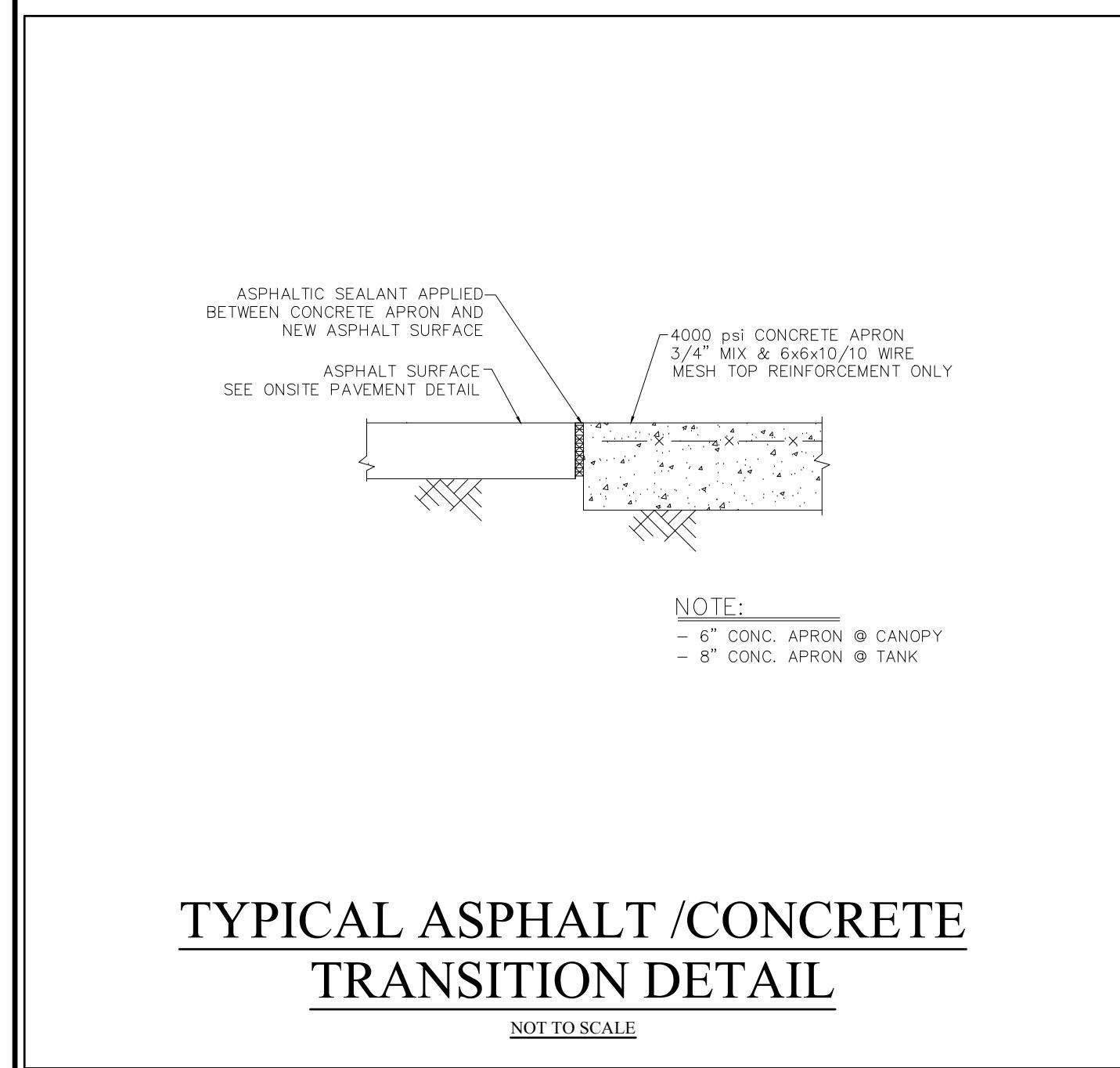
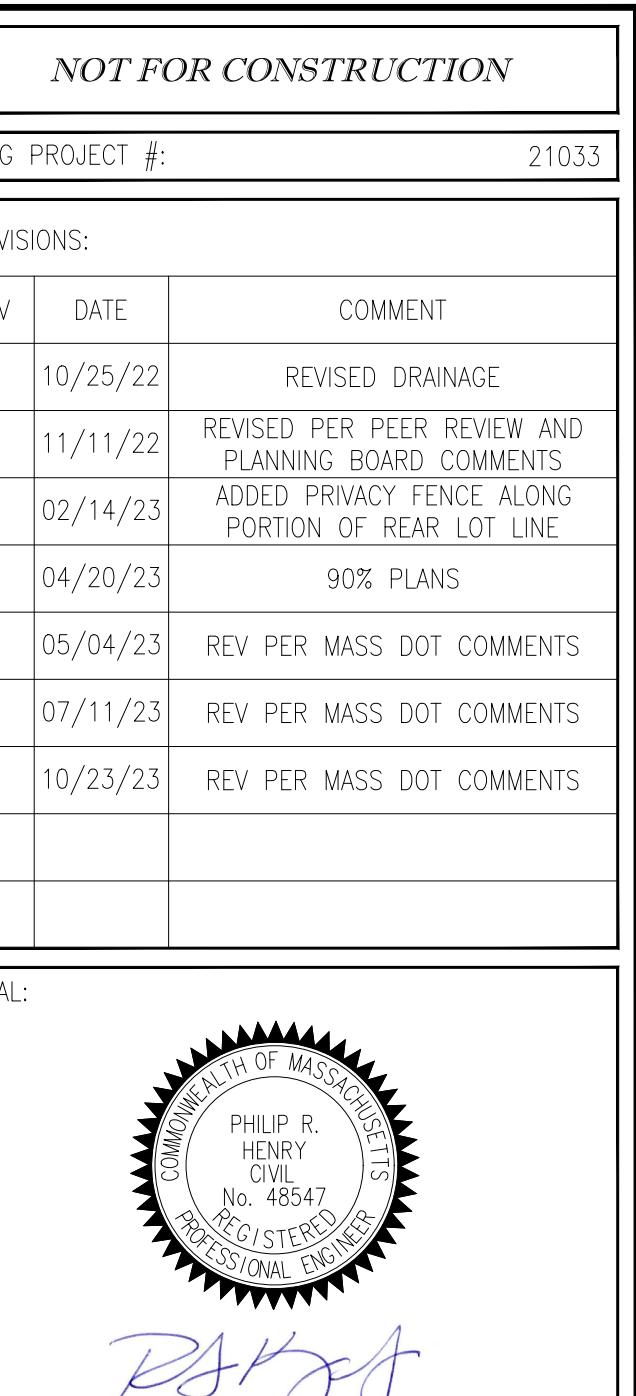
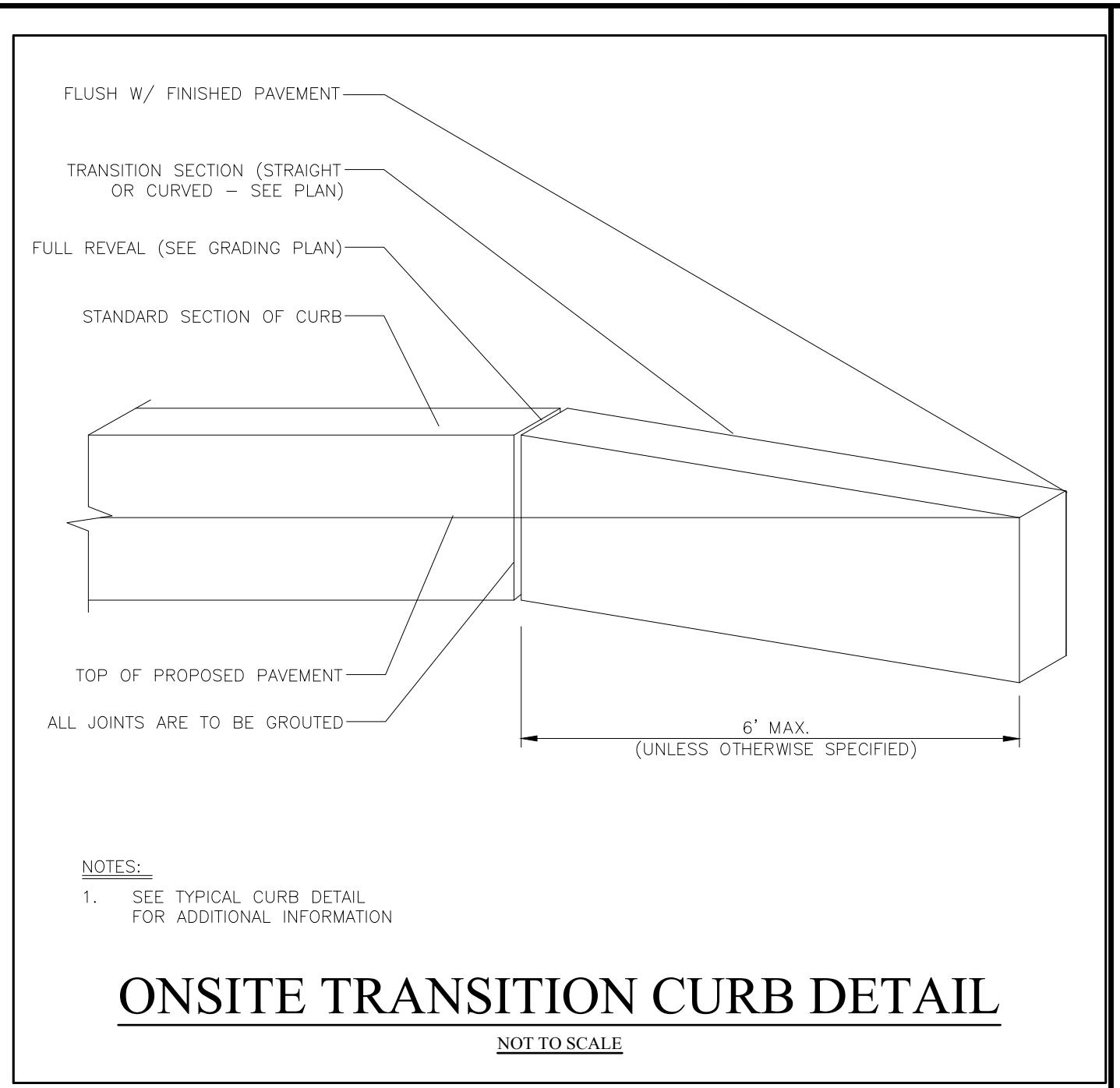
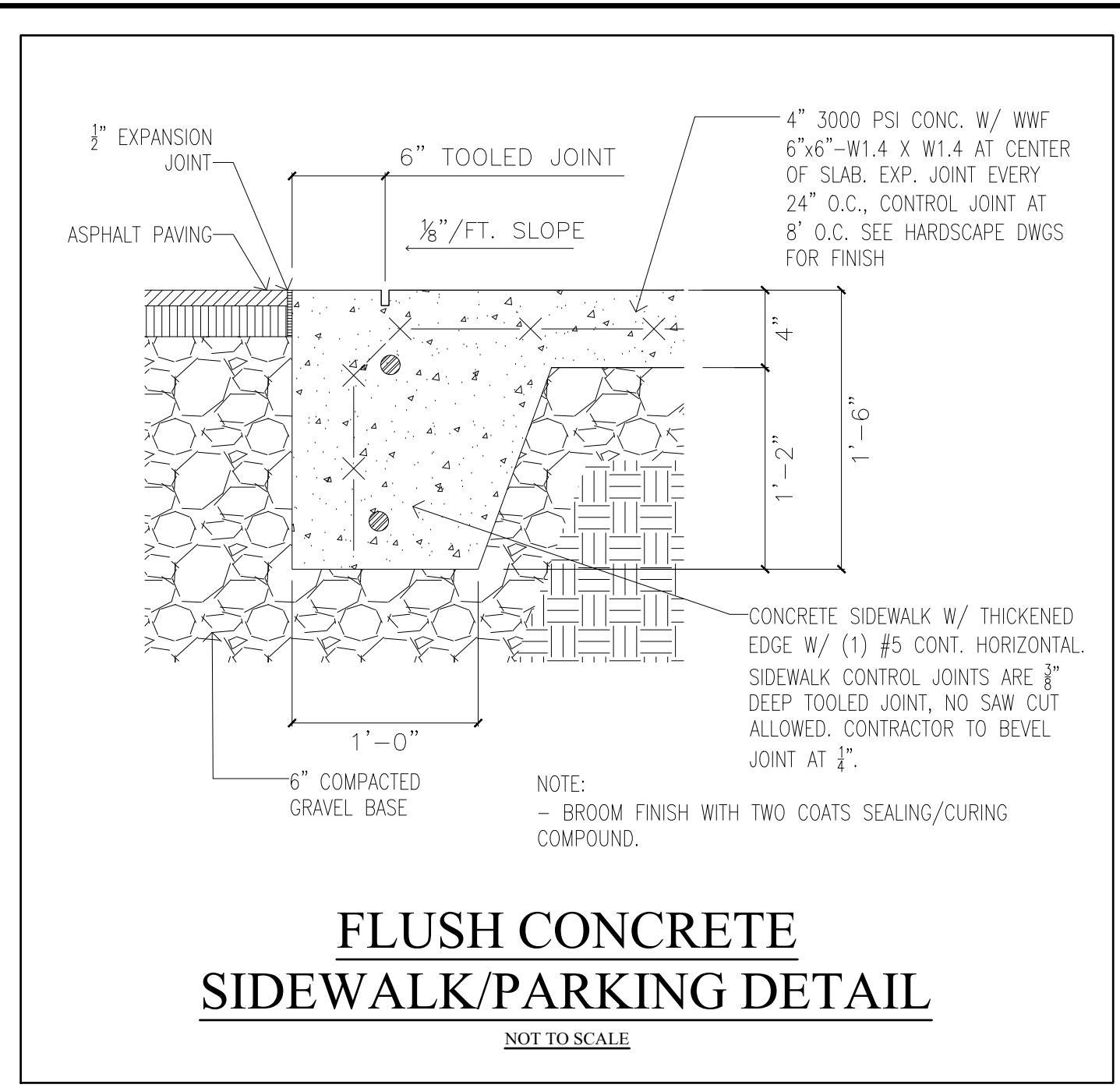
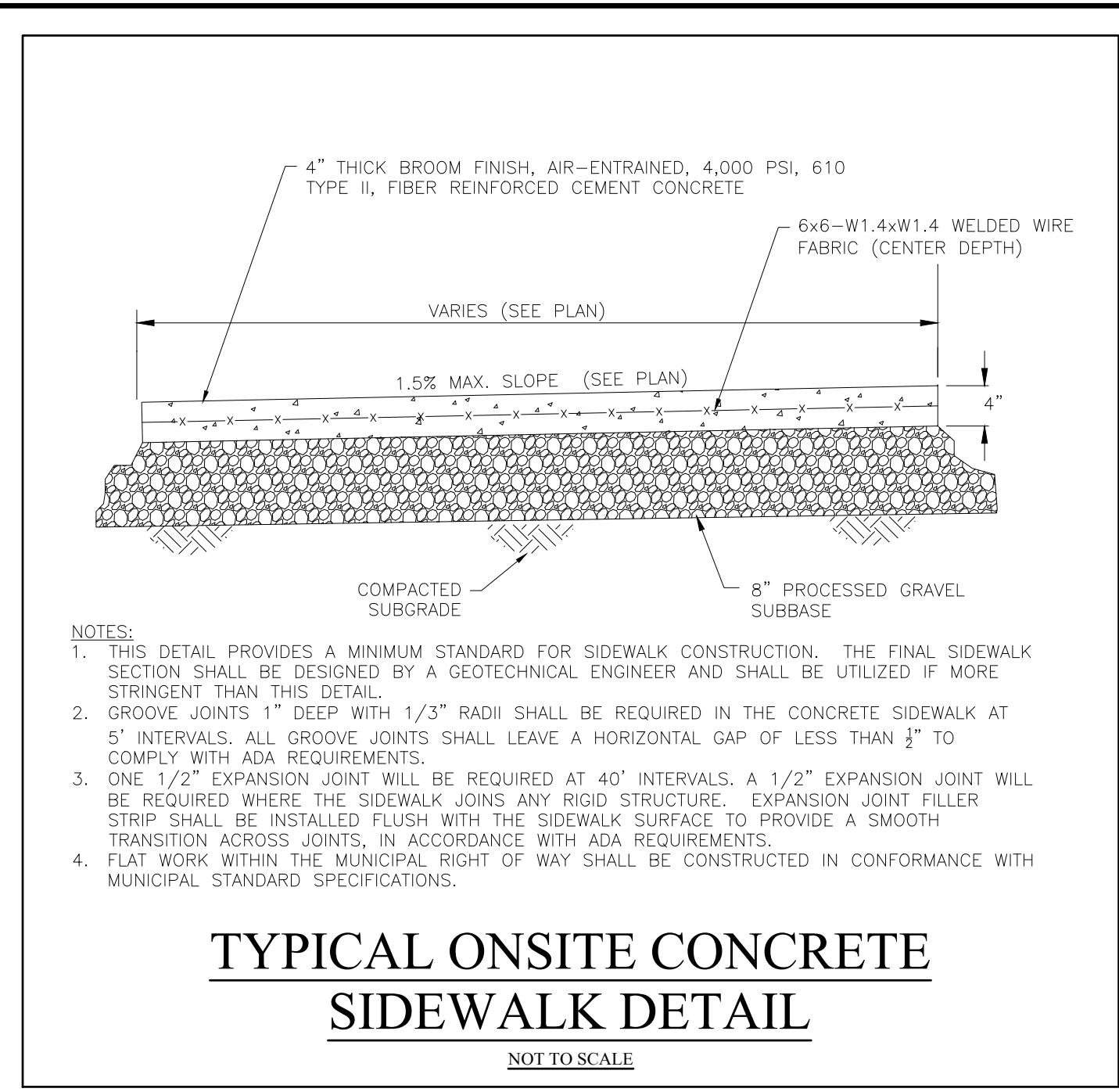
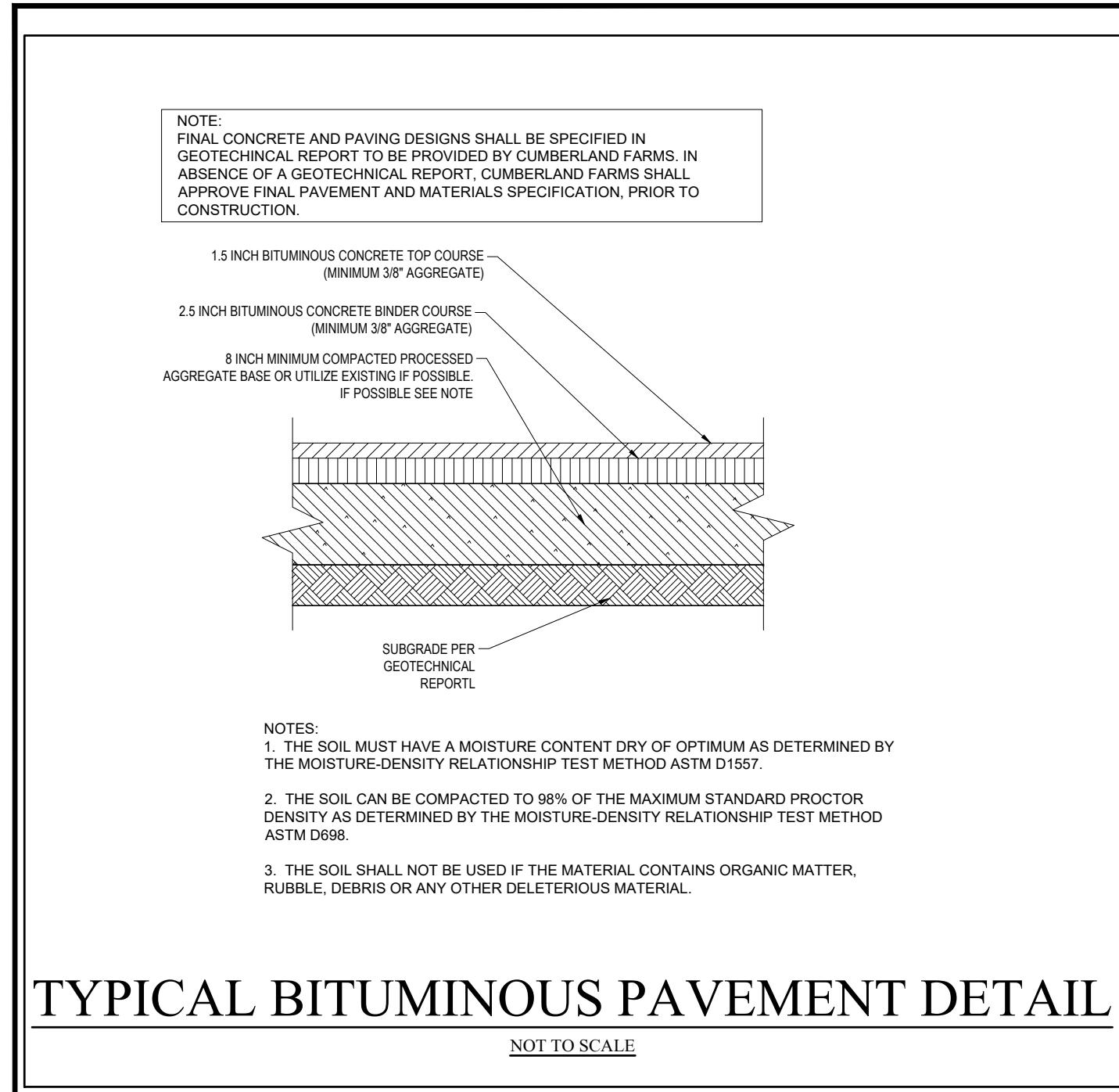
PREPARED FOR:  
**Cumberland FARMS**  
 165 FLANDERS ROAD  
 WESTBOROUGH, MA 01581

PROJECT LOCATION:  
 235 MAIN STREET & FAIRLAWN AVE  
 OXFORD, MA 01540  
 RAZE & REBUILD / ADD LAND  
 ORACLE #MA0617

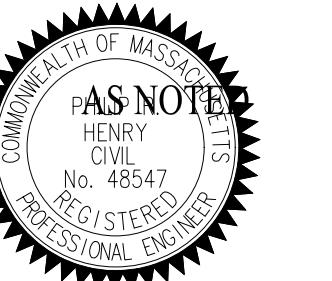
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 GRAPHIC SCALE IN FEET  
 SHEET:  
**LANDSCAPE PLAN C008.0**  
 DATE: 09/06/2022







REV	DATE	COMMENT
1	10/25/22	REVISED DRAINAGE
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R.P.H.

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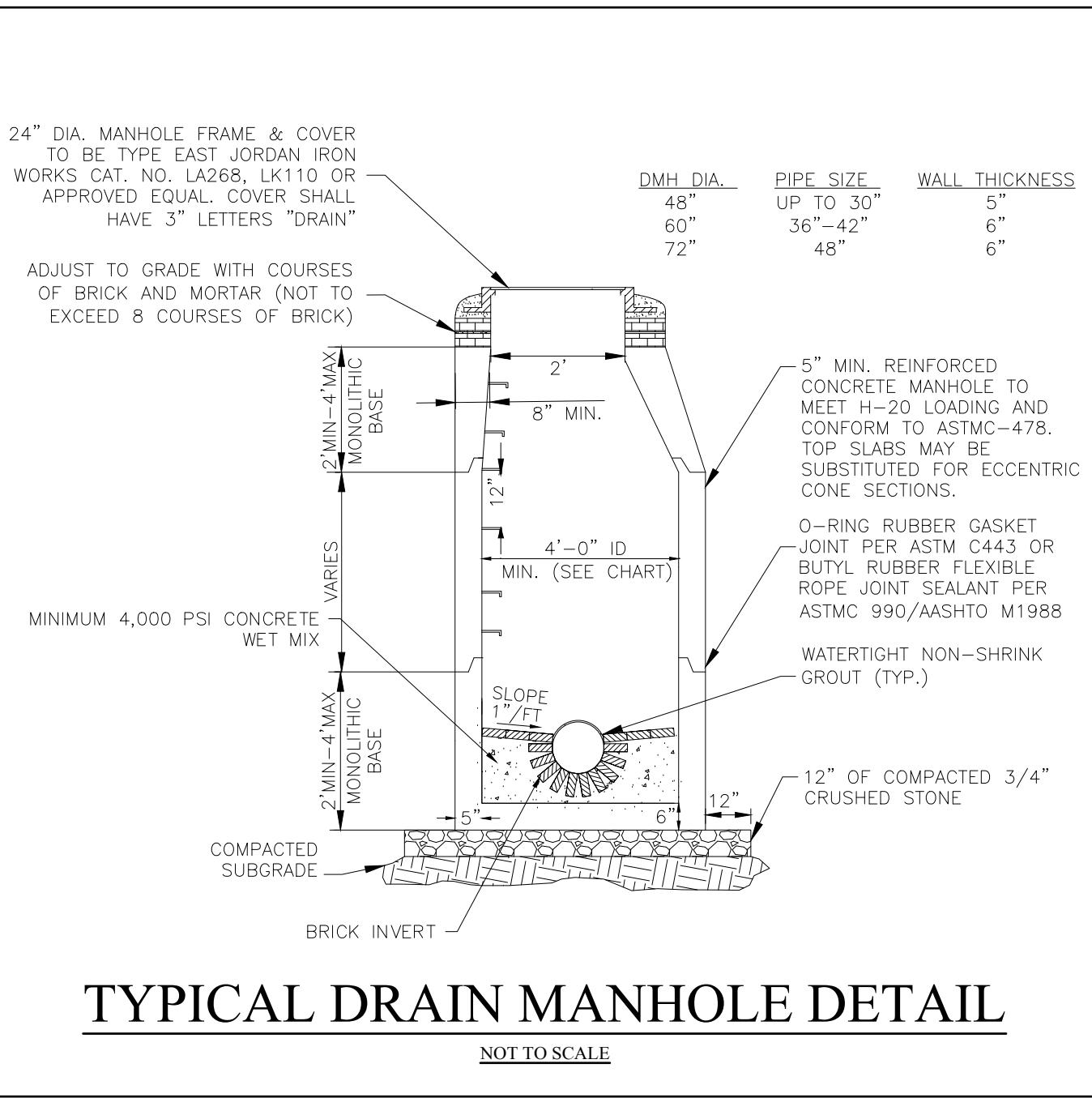
PROJECT LOCATION:  
**235 MAIN STREET & 5 FAIRLAWN AVE**  
**OXFORD, MA 01540**

RAZE & REBUILD / ADD LAND  
**ORACLE #MA0617**

SCALE:  
**AS NOTED**

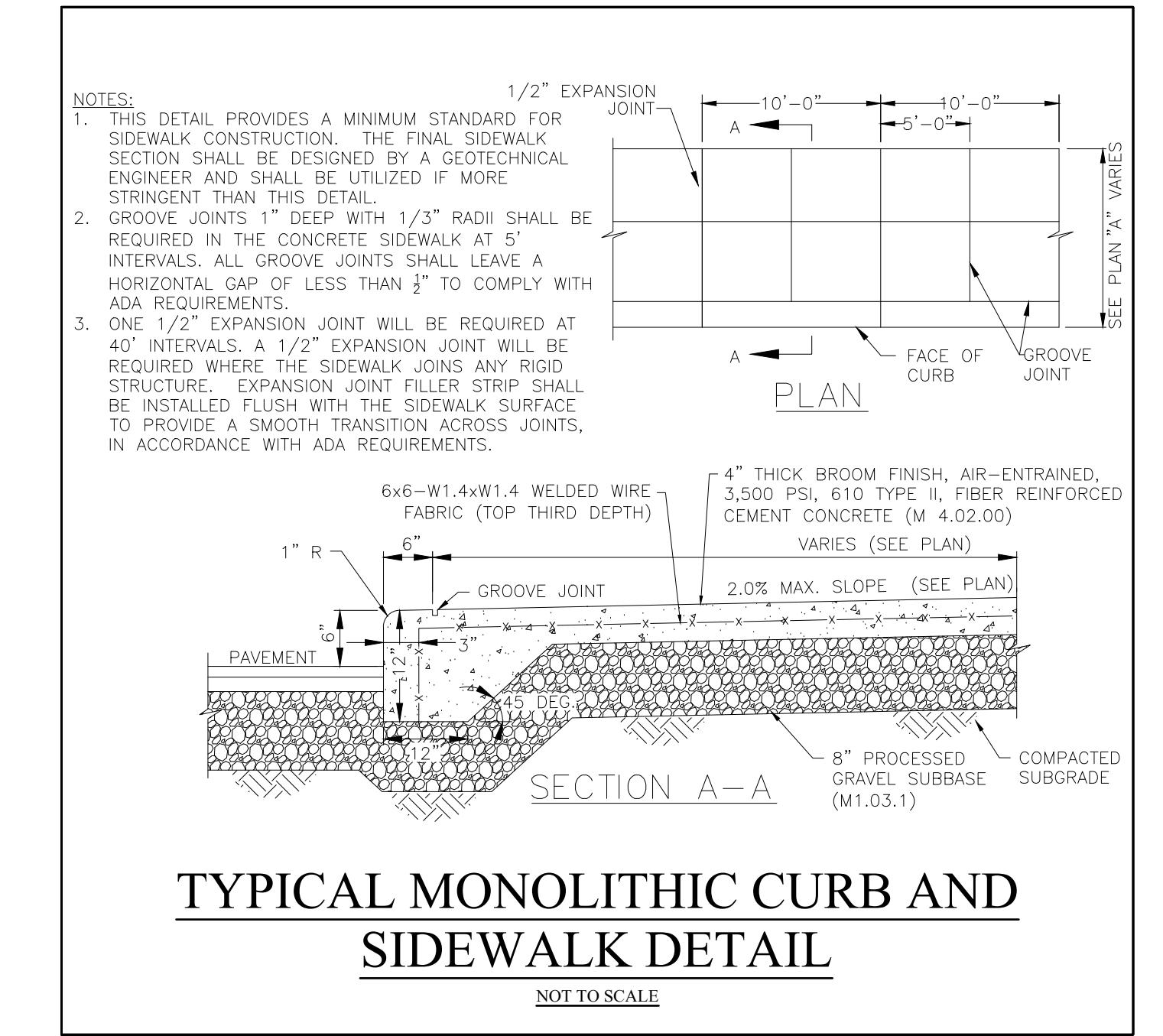
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**CONSTRUCTION DETAILS**

**C009.2**



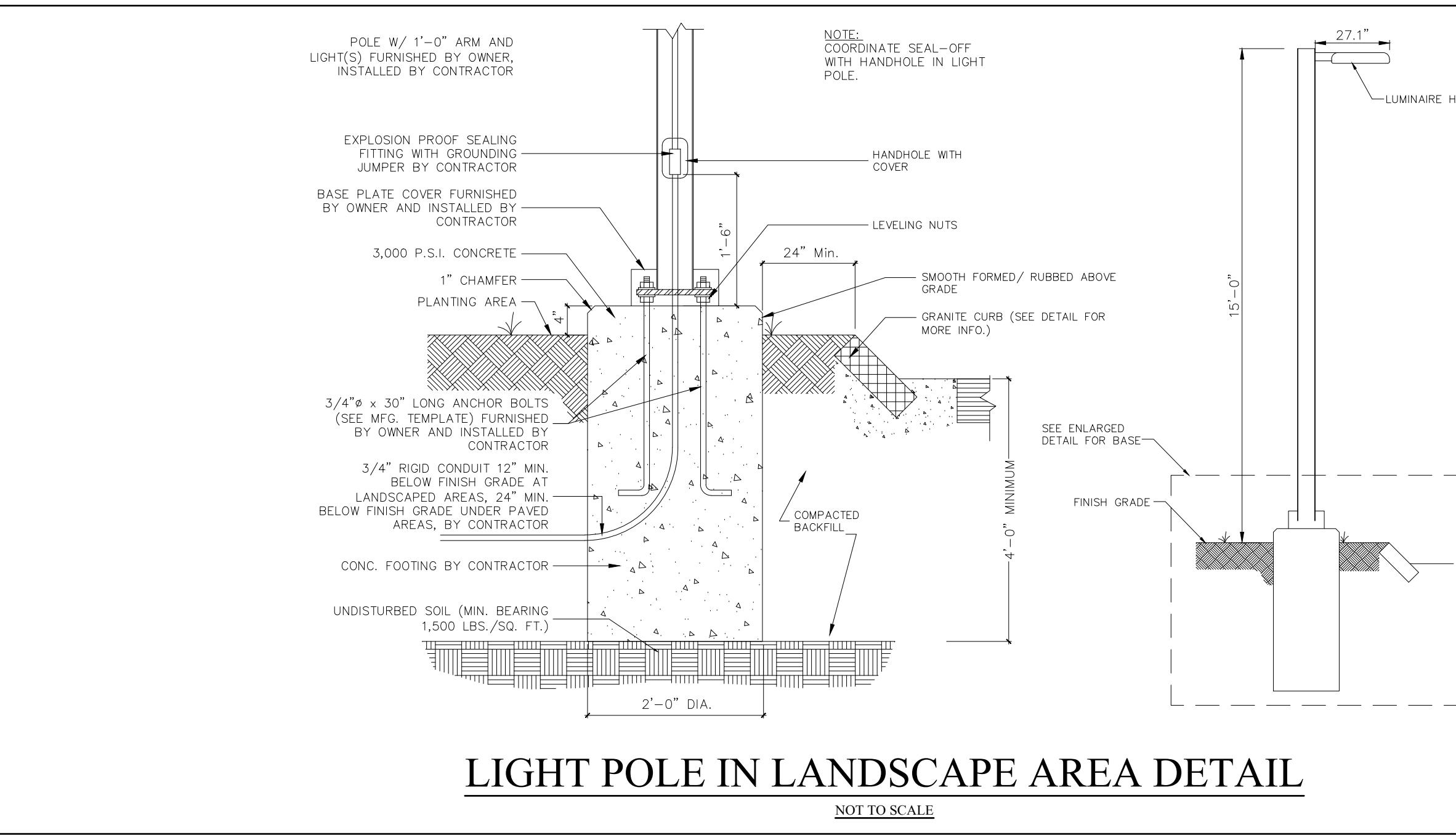
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NOT TO SCALE



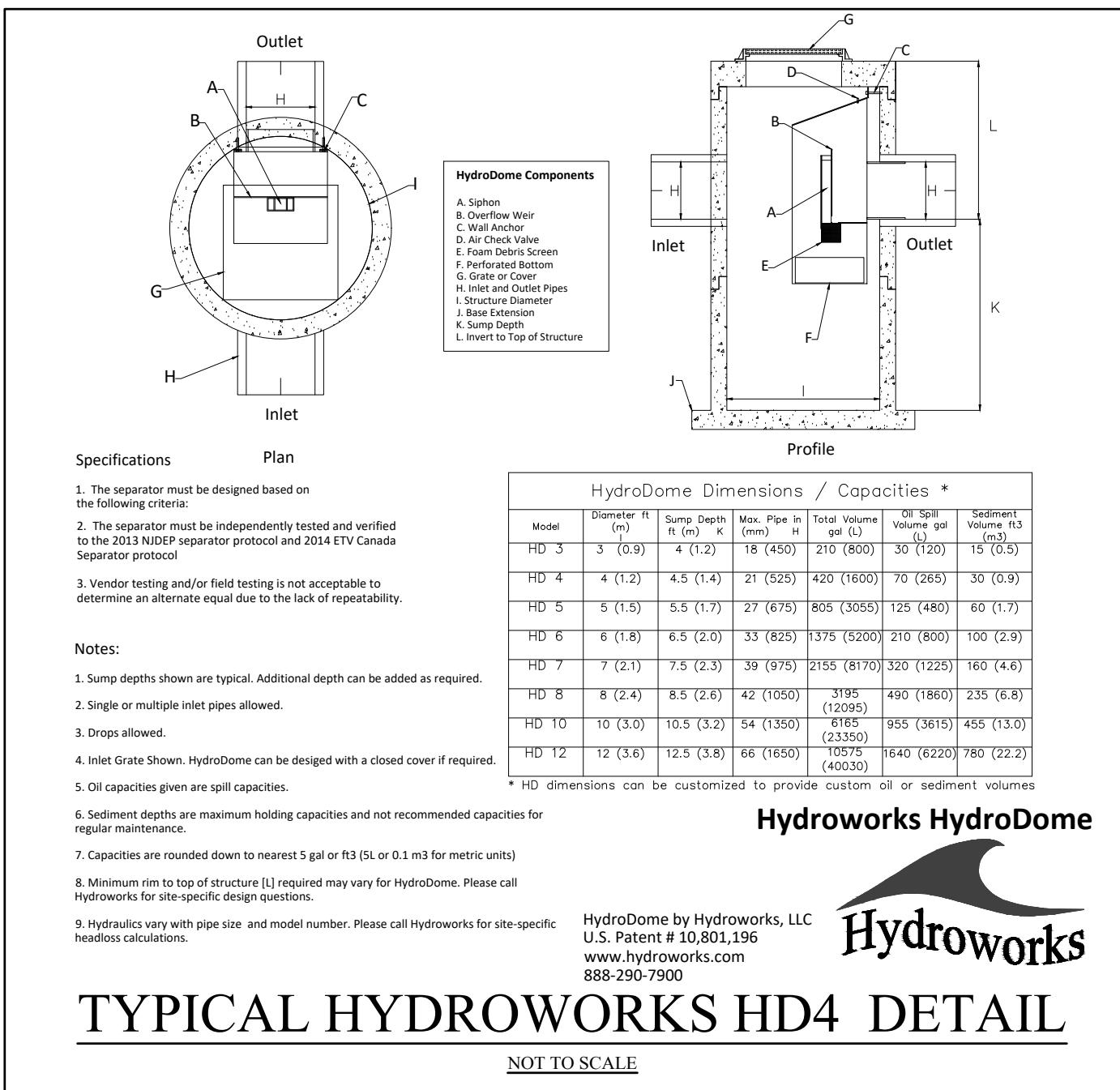
TYPICAL MONOLITHIC CURB AND SIDEWALK DETAIL

NOT TO SCALE



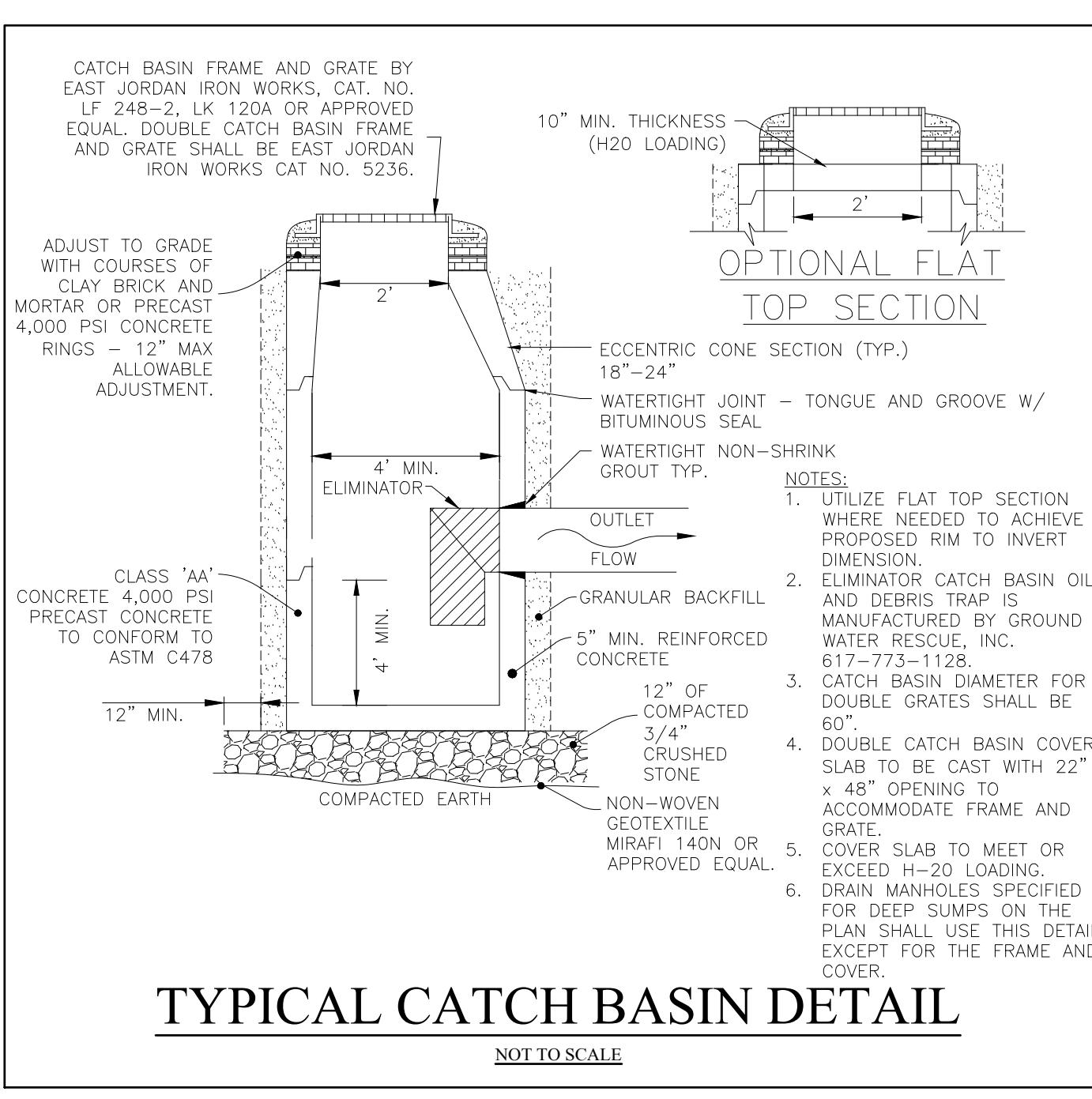
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NOT TO SCALE



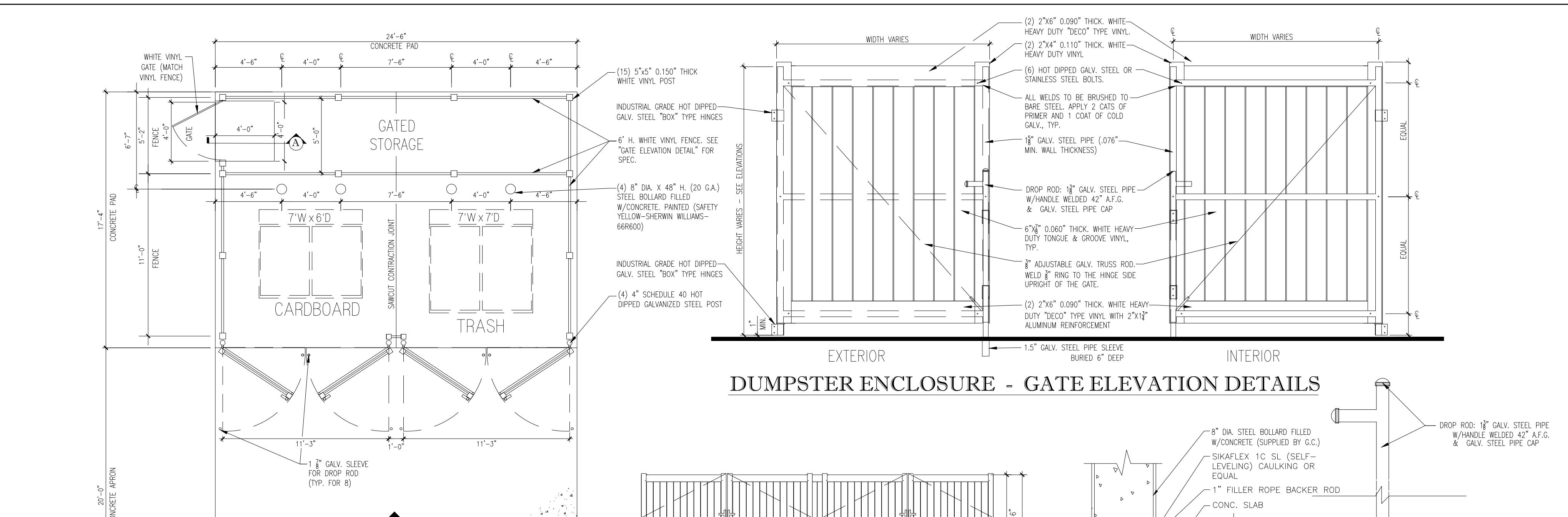
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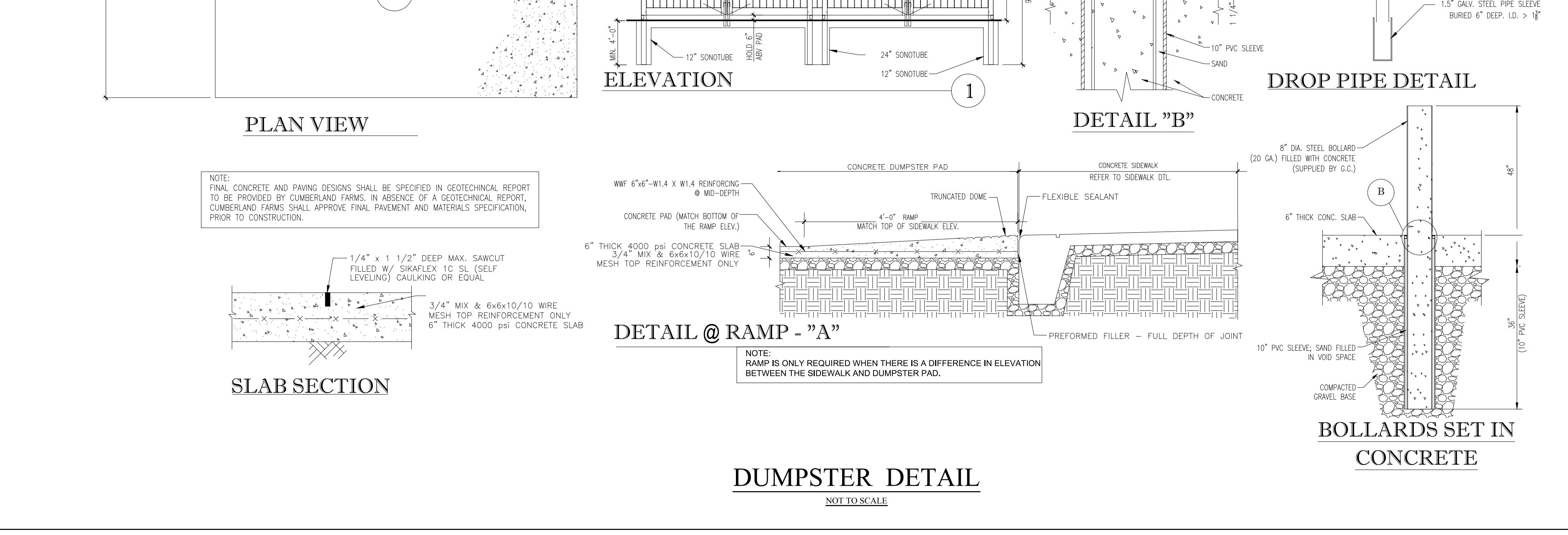


TYPICAL CATCH BASIN DETAIL

NOT TO SCALE



DUMPSTER ENCLOSURE - GATE ELEVATION DETAILS



DUMPSTER DETAIL

NOT TO SCALE

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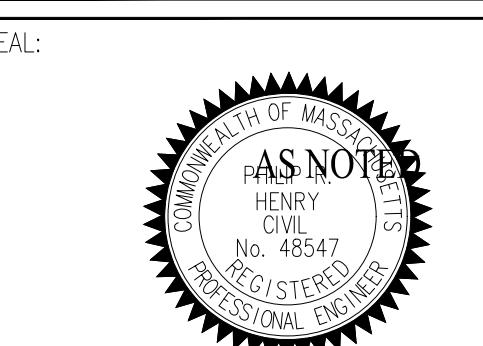
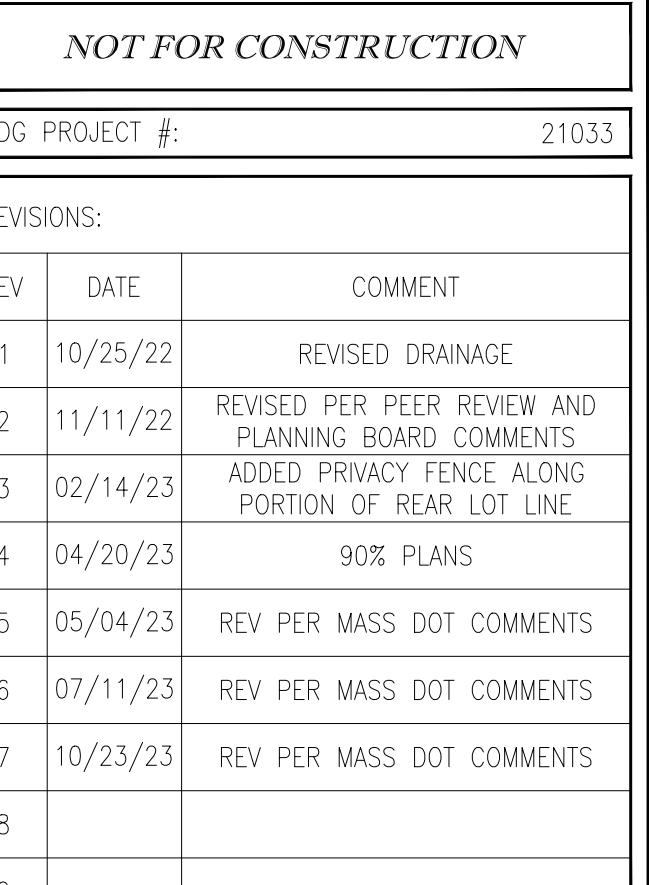
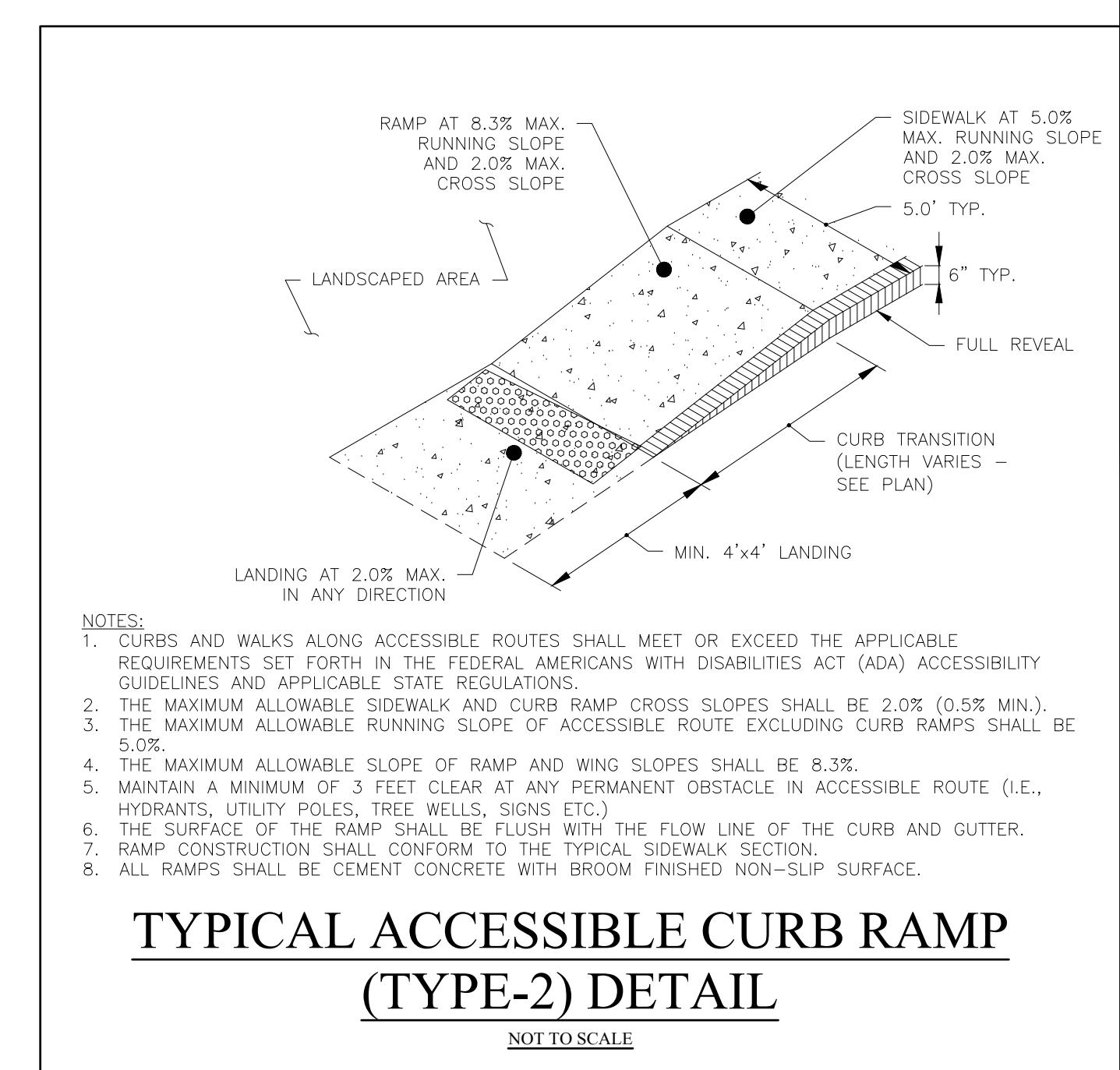
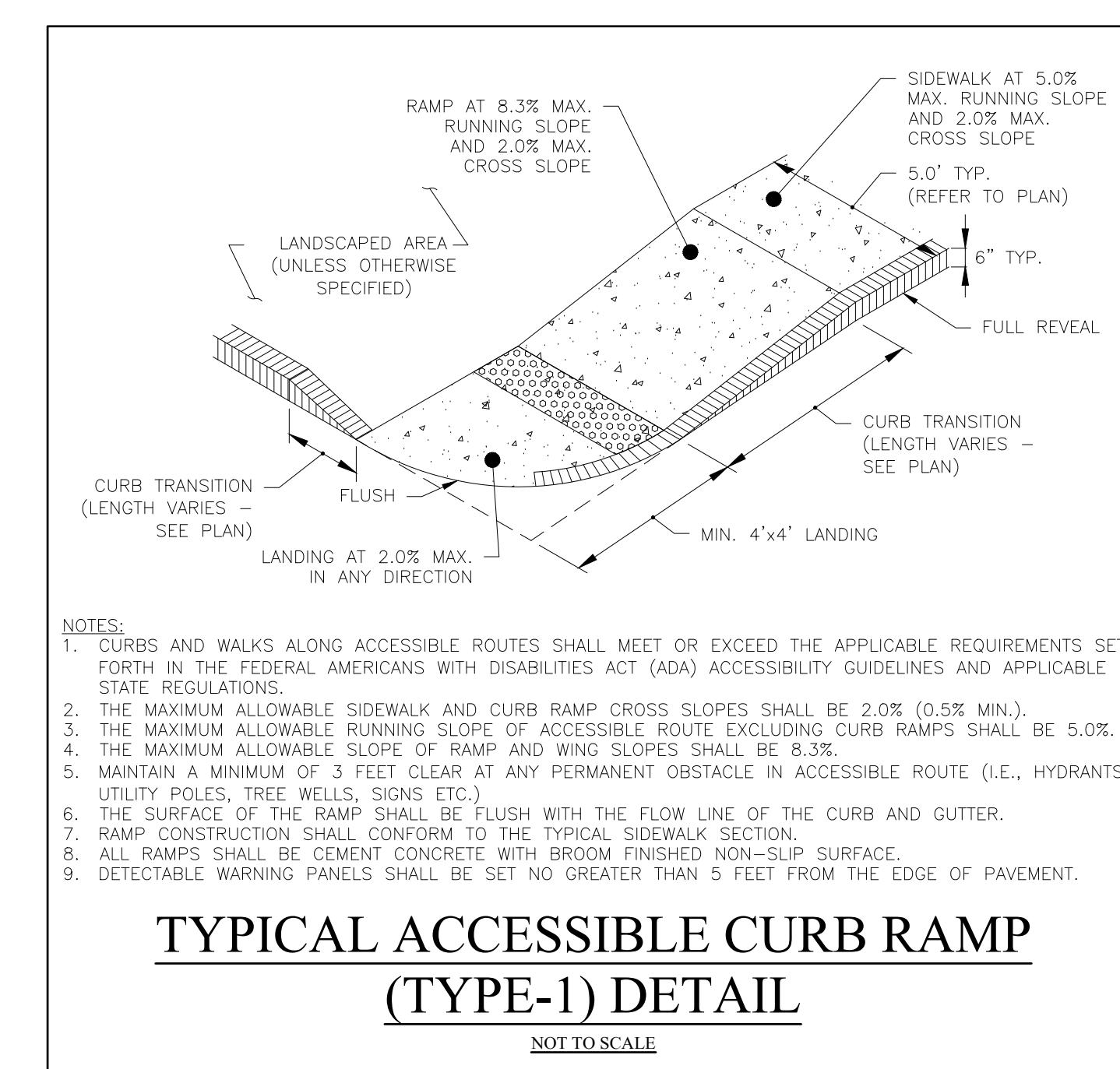
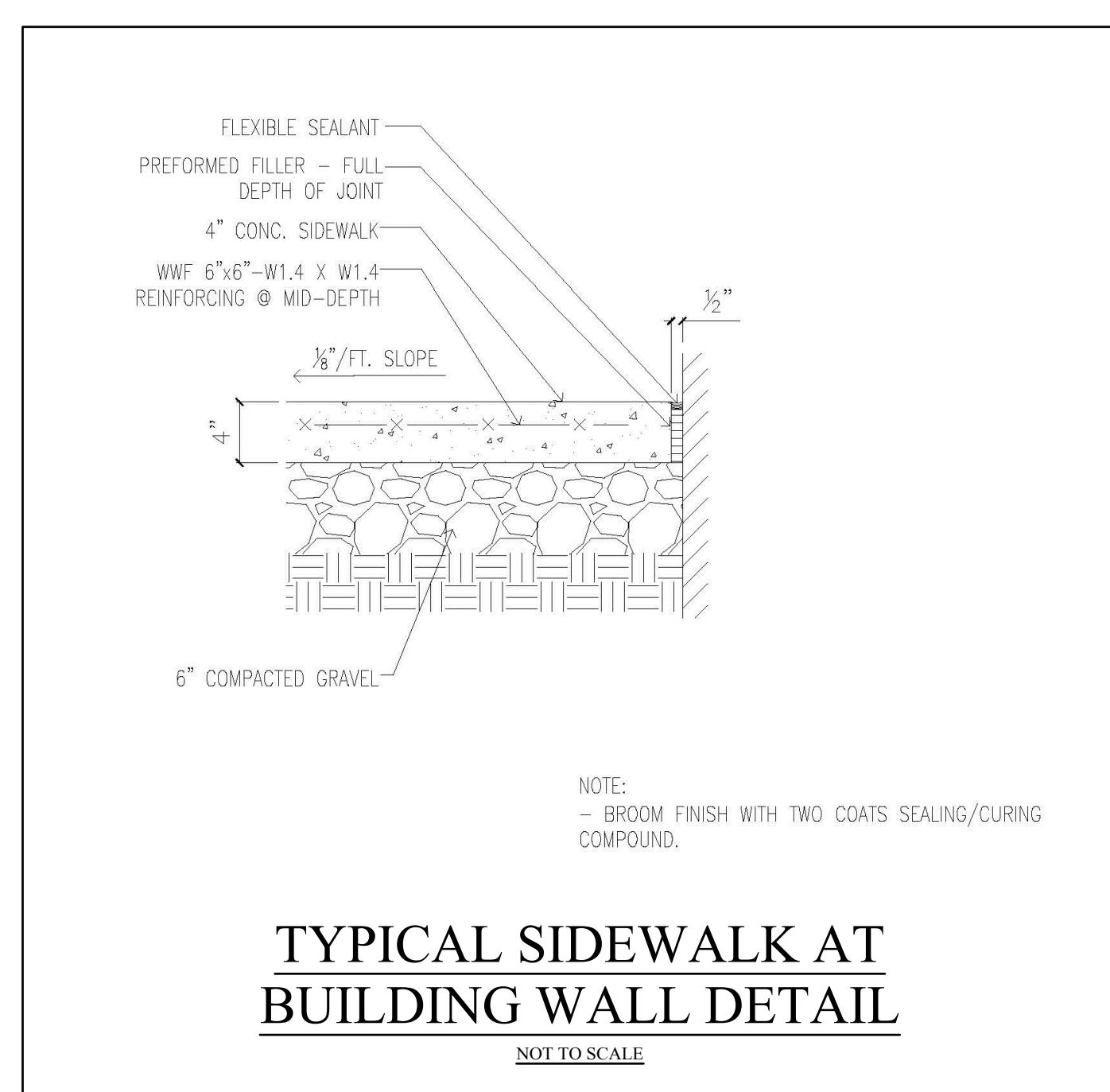
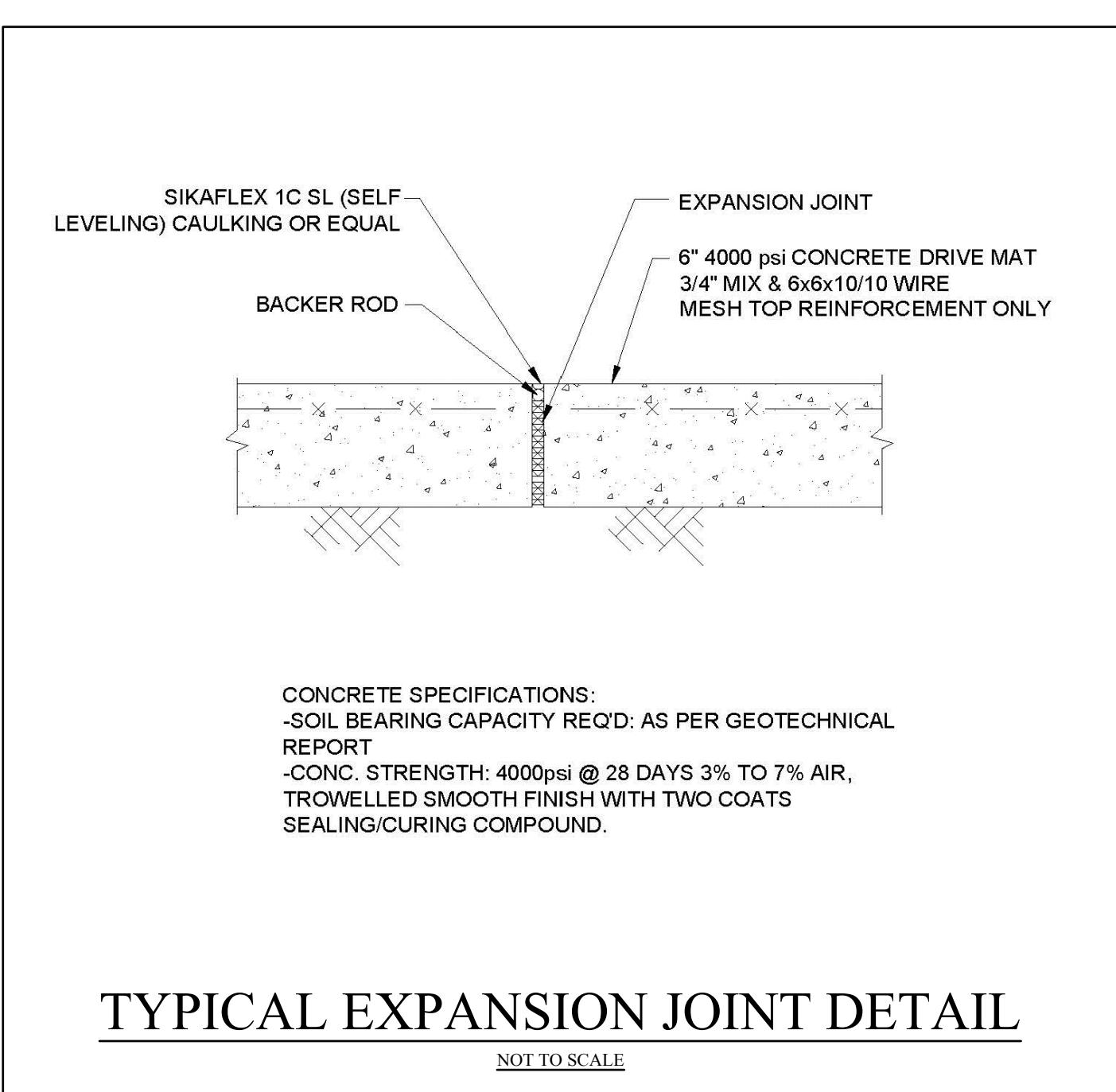
NOT FOR CONSTRUCTION

CDG PROJECT #: 21033

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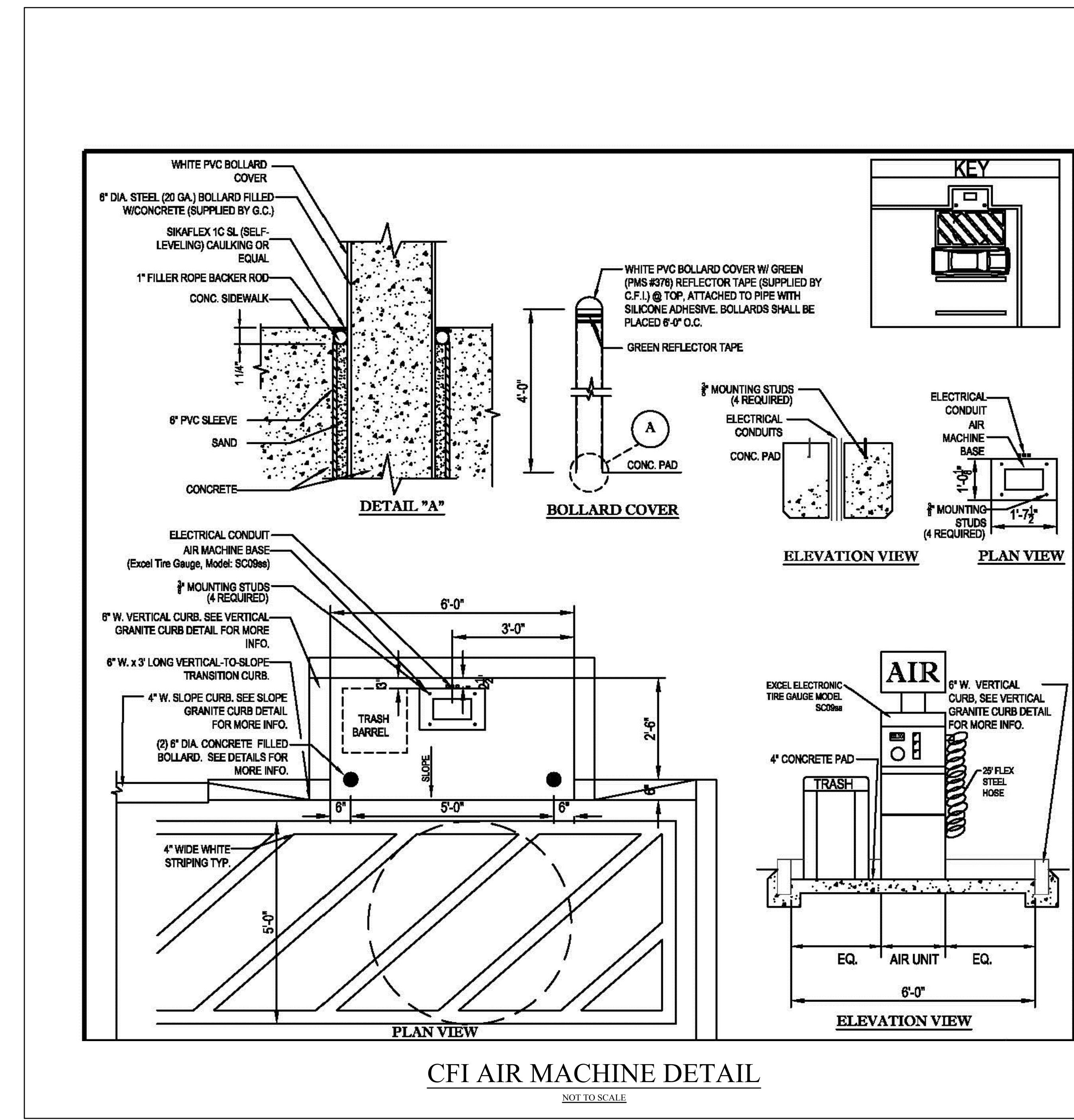
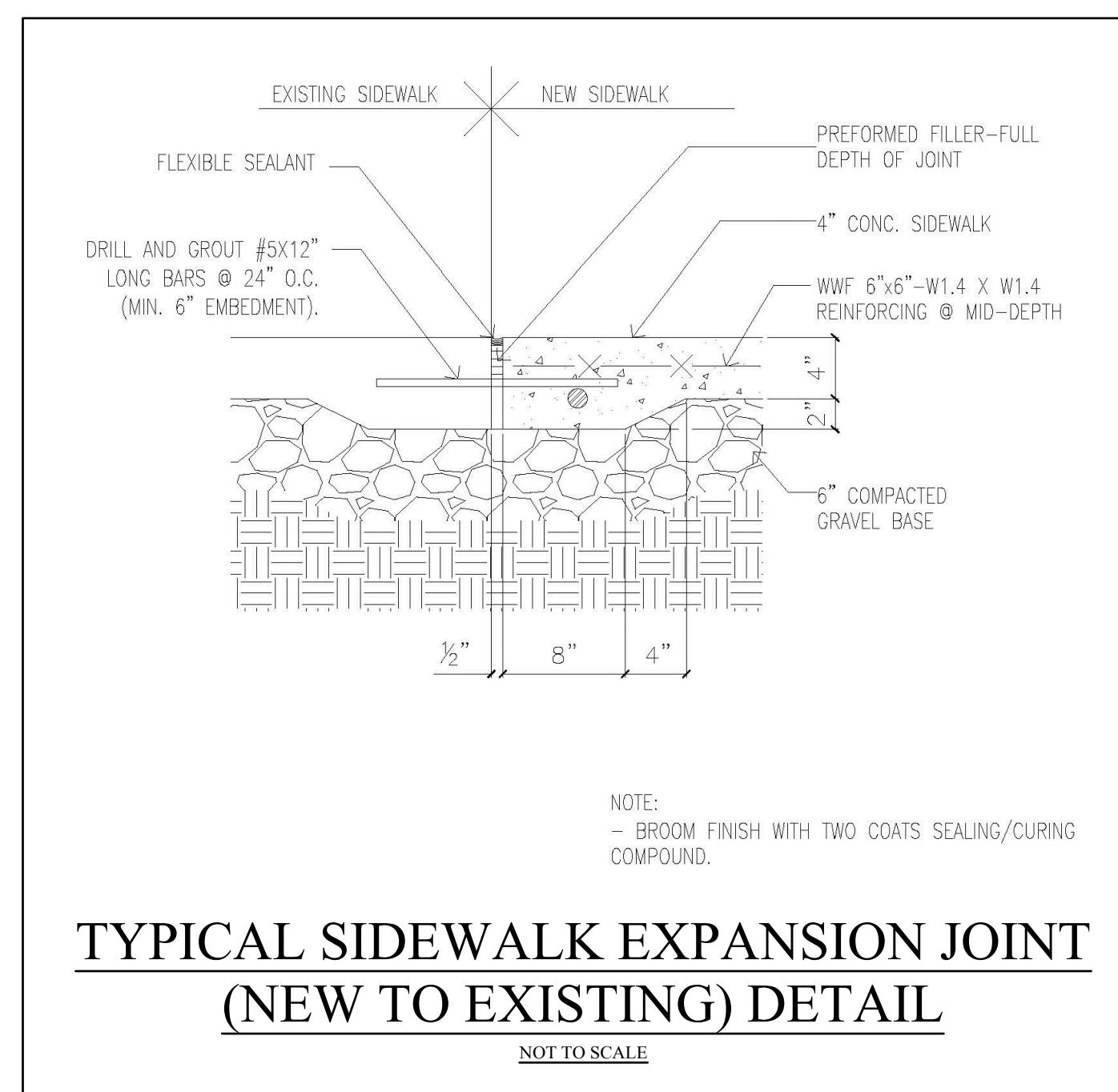
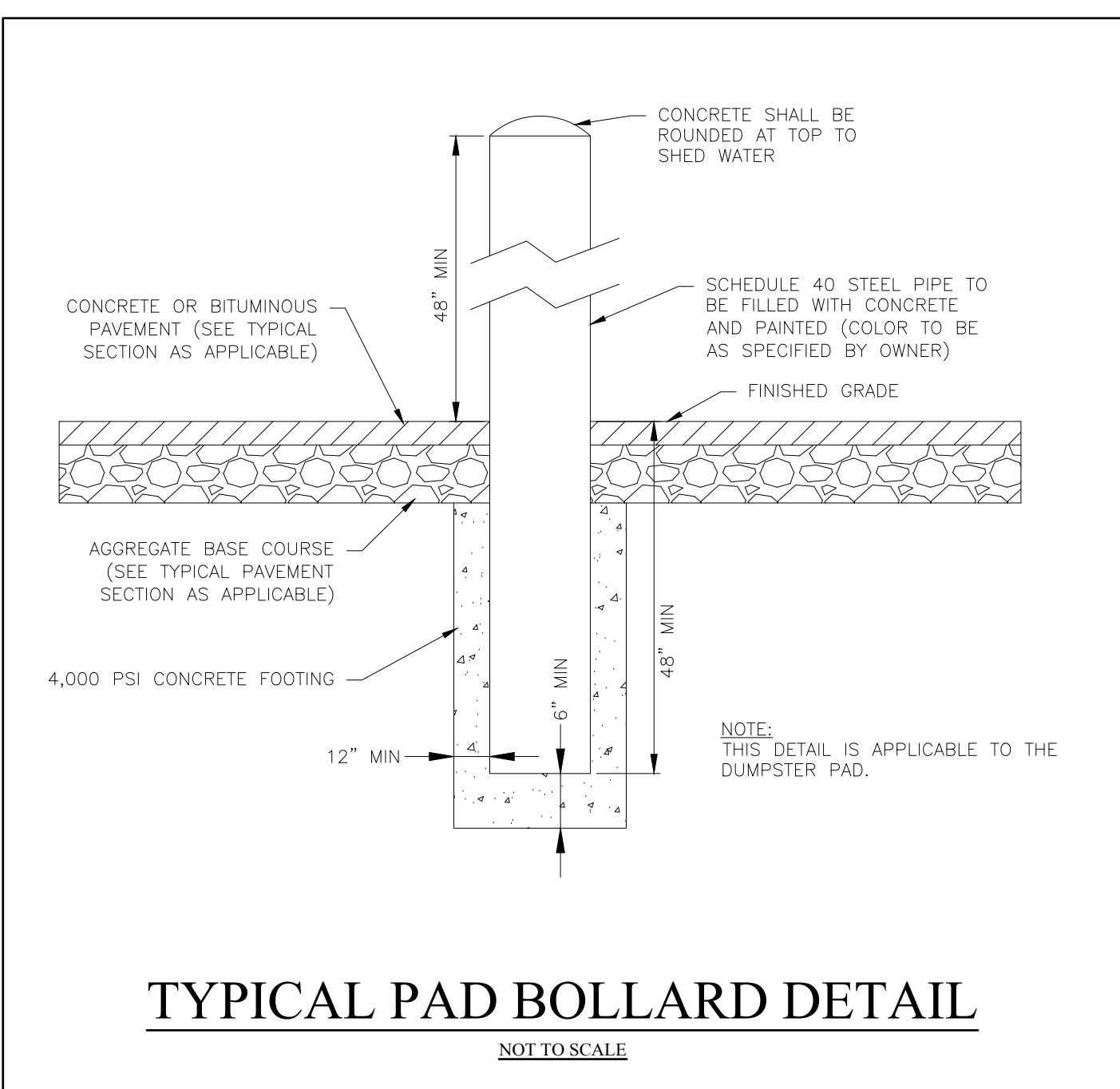
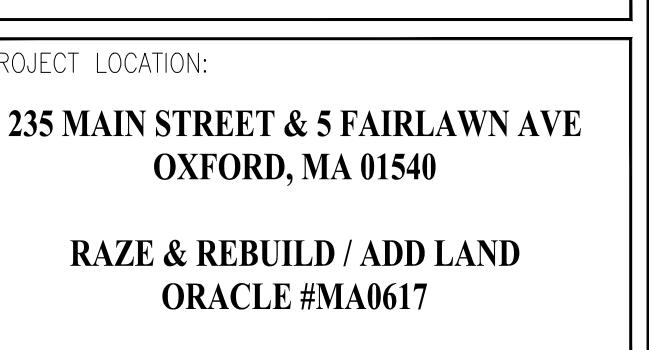
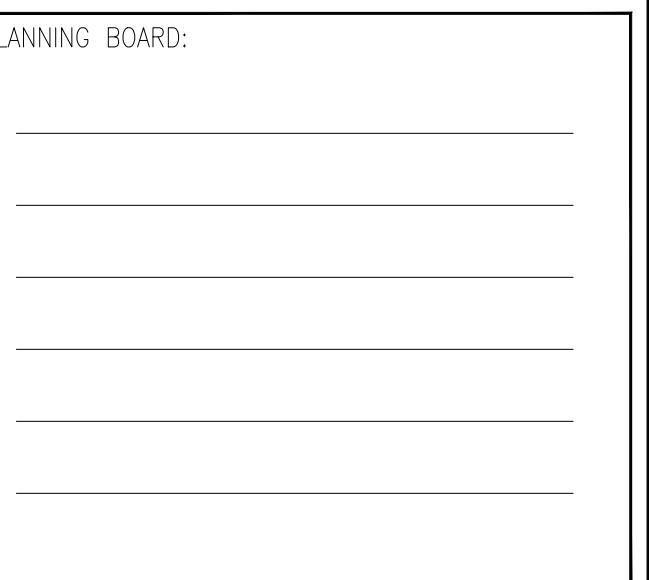




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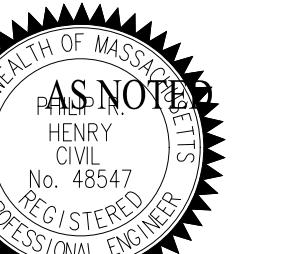
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**PHILIP R. HENRY, P.E.**



CDG PROJECT #:		
21033		
REVISIONS:		
REV	DATE	COMMENT
1	10/25/22	REVISED DRA
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
3	02/14/23	ADDED PRIVACY FENCE ALONG PORTION OF REAR LOT LINE
4	04/20/23	90% PLANS
5	05/04/23	REV PER MASS DOT COMMENTS
6	07/11/23	REV PER MASS DOT COMMENTS
7	10/23/23	REV PER MASS DOT COMMENTS
8		
9		

SEAL:



R.P.H.

PHILIP R. HENRY, P.E.

PLANNING BOARD:

CIVIL ENGINEER:

CIVIL DESIGN GROUP, LLC

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdgengineering.com  
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

  
Cumberland FARMS  
165 FLANDERS ROAD  
WESTBOROUGH, MA 01581
PROJECT LOCATION:  
235 MAIN STREET & 5 FAIRLAWN AVE  
OXFORD, MA 01540RAZE & REBUILD / ADD LAND  
ORACLE #MA0617

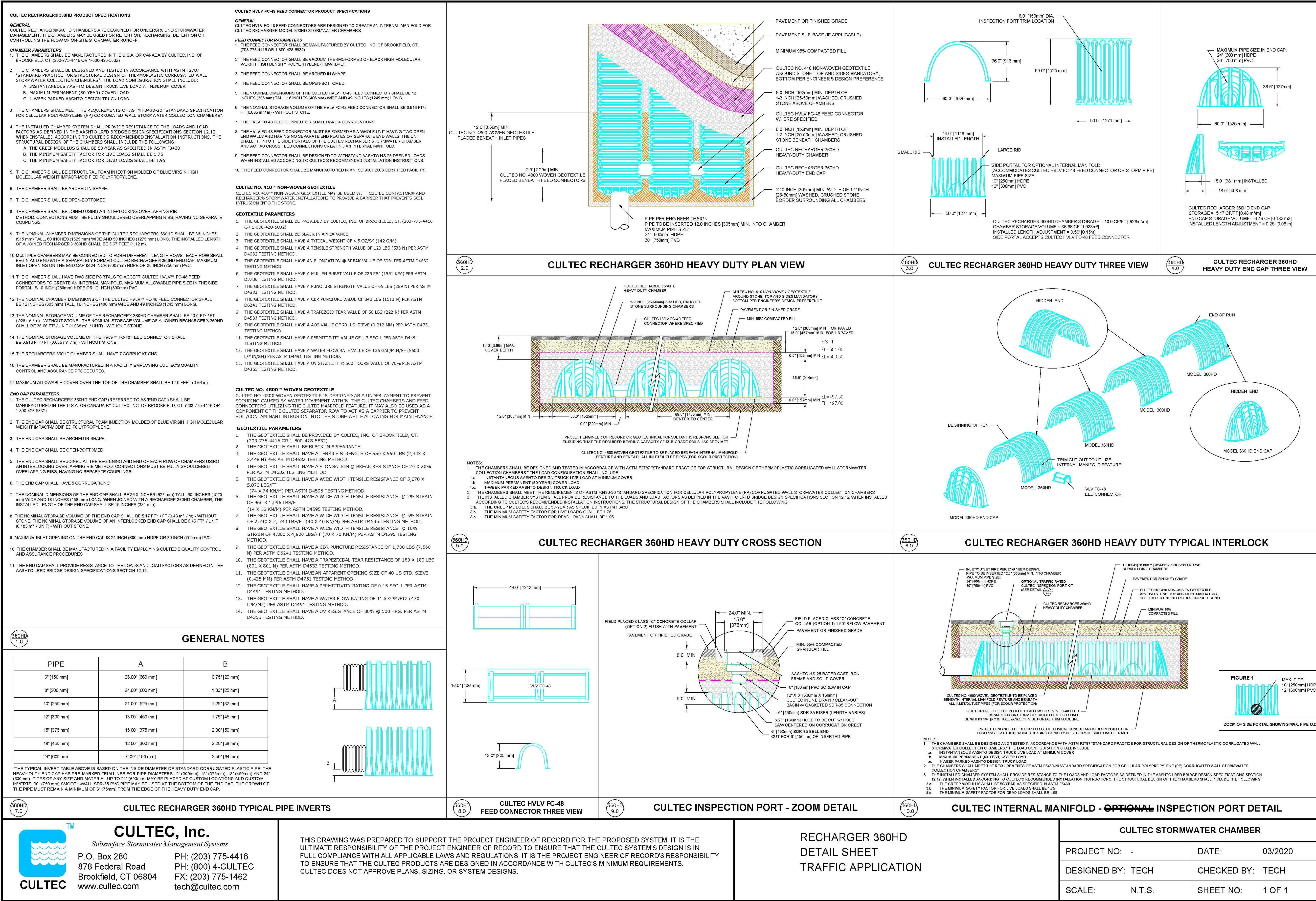
SCALE:

AS NOTED

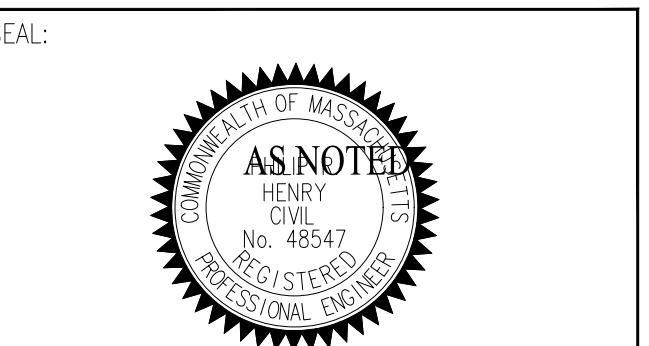
SHEET:  
CONSTRUCTION DETAILS

C009.5

DATE: 09/06/2022



NOT FOR CONSTRUCTION		
CDG PROJECT #: 21033		
REVISIONS:		
REV	DATE	COMMENT
1	10/25/22	REVISED DRAINAGE
2	11/11/22	REVISED PER PEER REVIEW AND PLANNING BOARD COMMENTS
3	02/14/23	ADDED PRIVACY FENCE ALONG PORTION OF REAR LOT LINE
4	04/20/23	90% PLANS
5	05/04/23	REV PER MASS DOT COMMENTS
6	07/11/23	REV PER MASS DOT COMMENTS
7	10/23/23	REV PER MASS DOT COMMENTS
8		
9		



*R.P.H.*

PHILIP R. HENRY, P.E.

PLANNING BOARD:

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CIVIL ENGINEER:

**CIVIL DESIGN GROUP, LLC**

21 HIGH STREET, SUITE 207  
NORTH ANDOVER, MA 01845  
www.cdgengineering.com  
p: 978-794-5400 f: 978-965-3971

PREPARED FOR:

**Cumberland FARMS**  
165 FLANDERS ROAD  
WESTBOROUGH, MA 01581

PROJECT LOCATION:

235 MAIN STREET & 5 FAIRLAWN AVE  
OXFORD, MA 01540

RAZE & REBUILD / ADD LAND  
ORACLE #MA0617

SCALE:

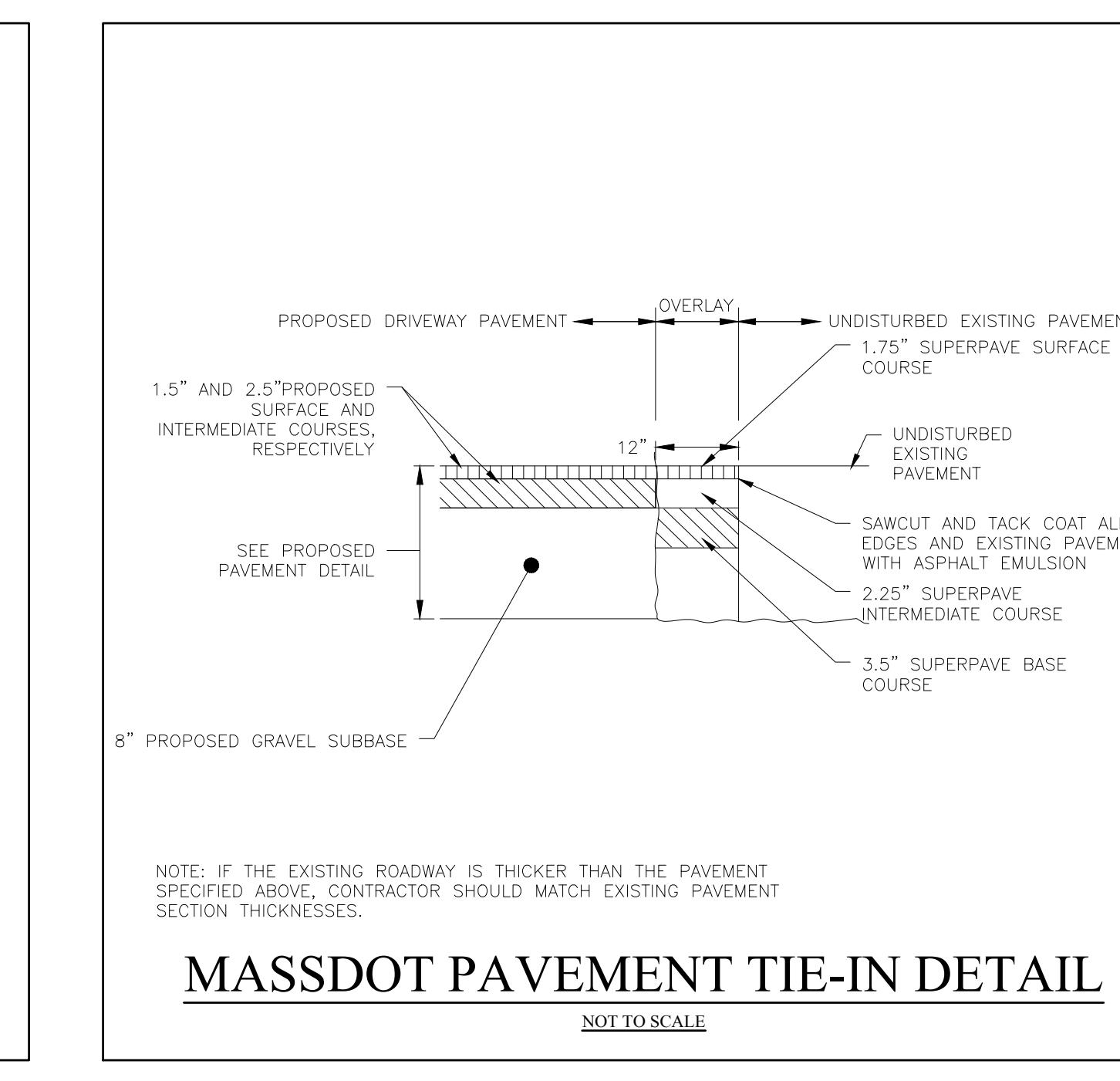
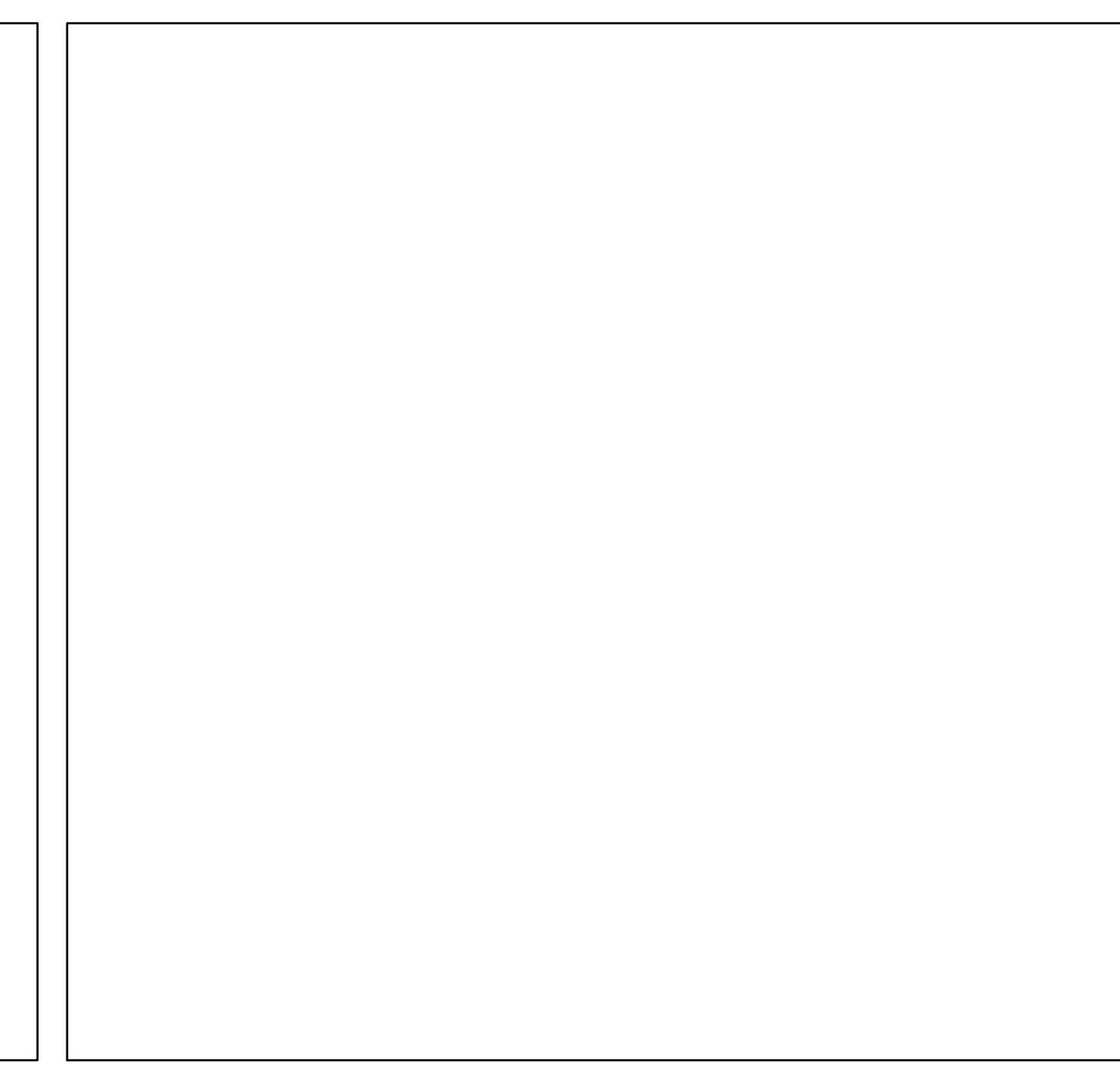
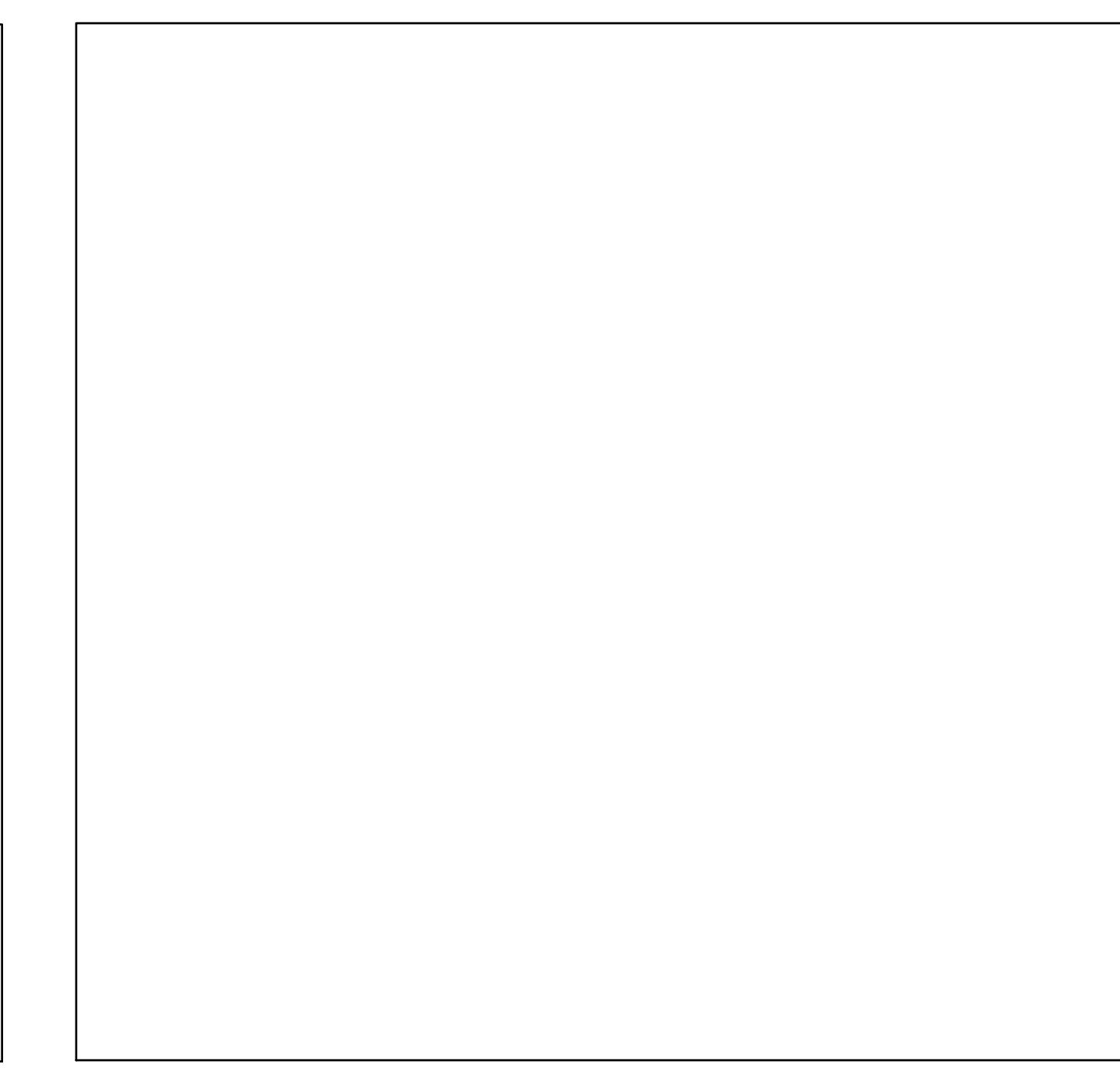
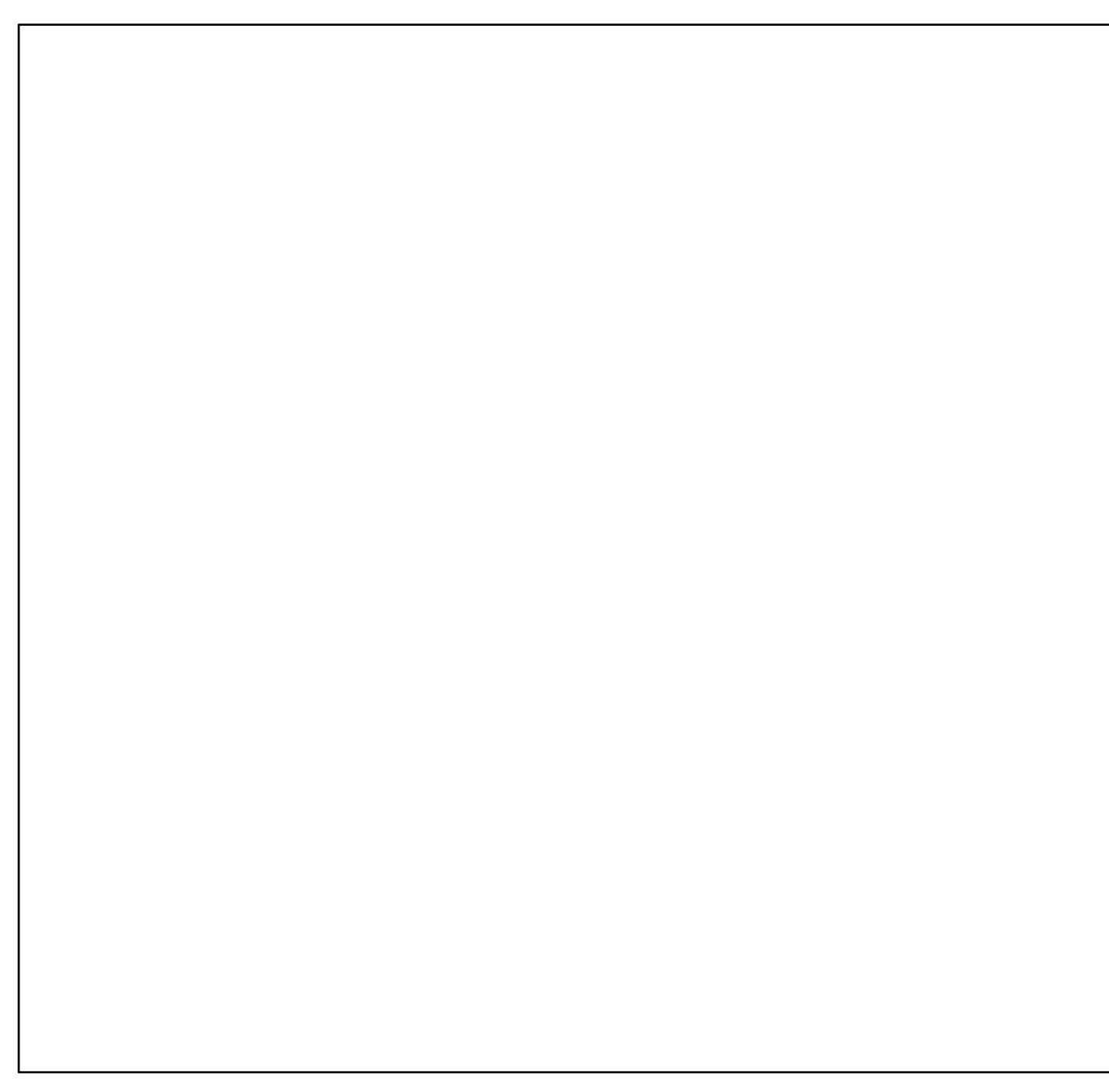
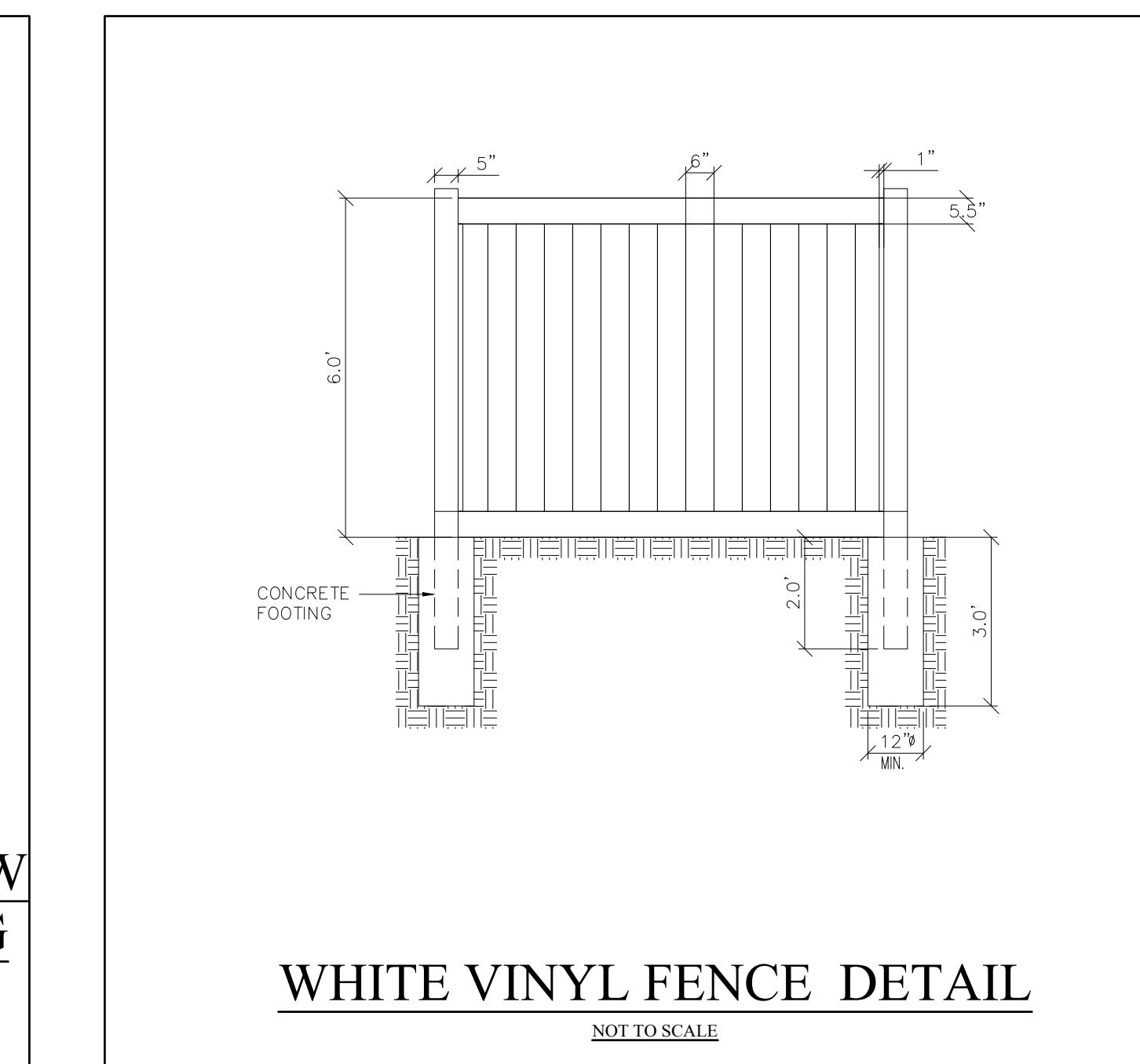
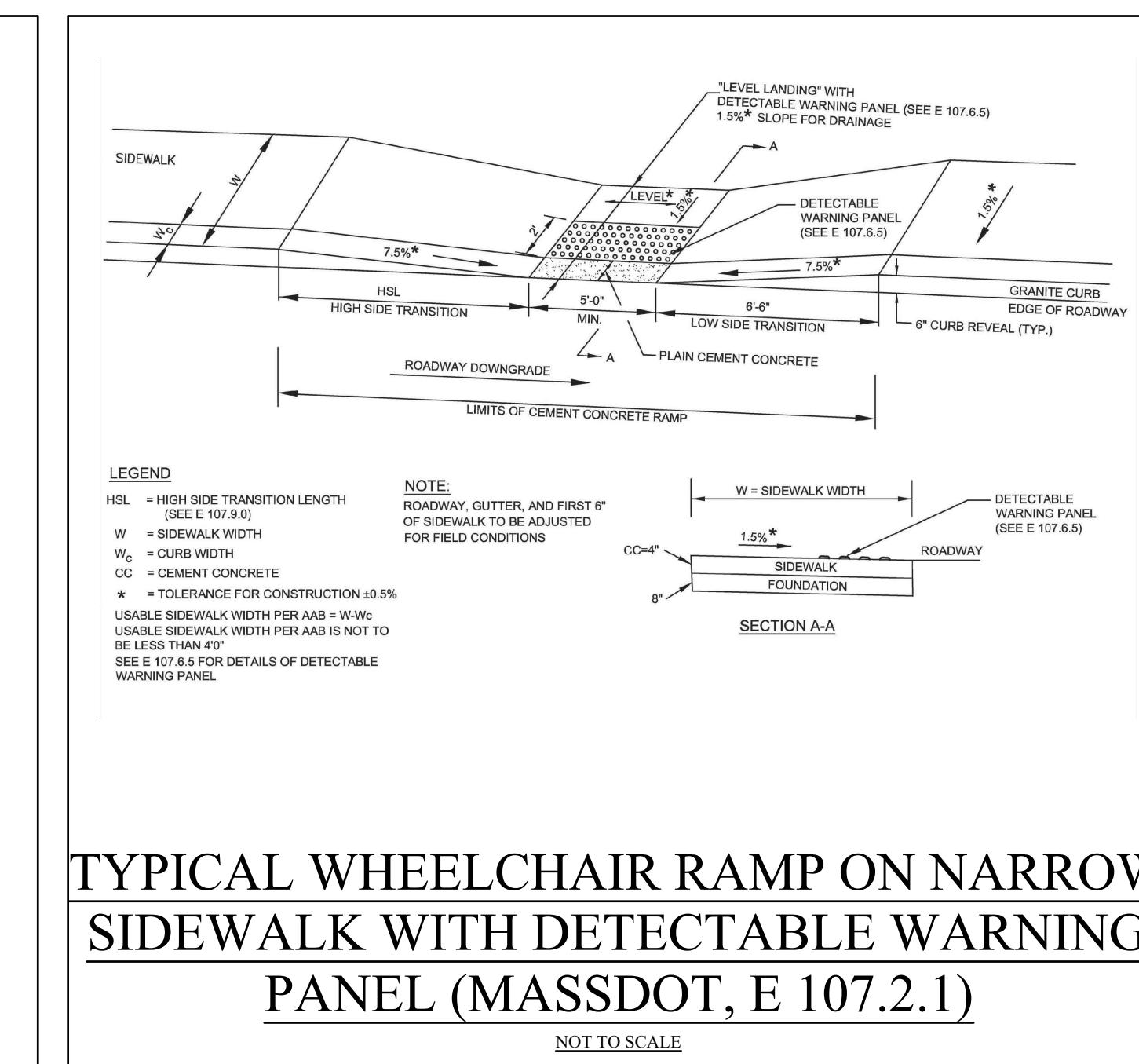
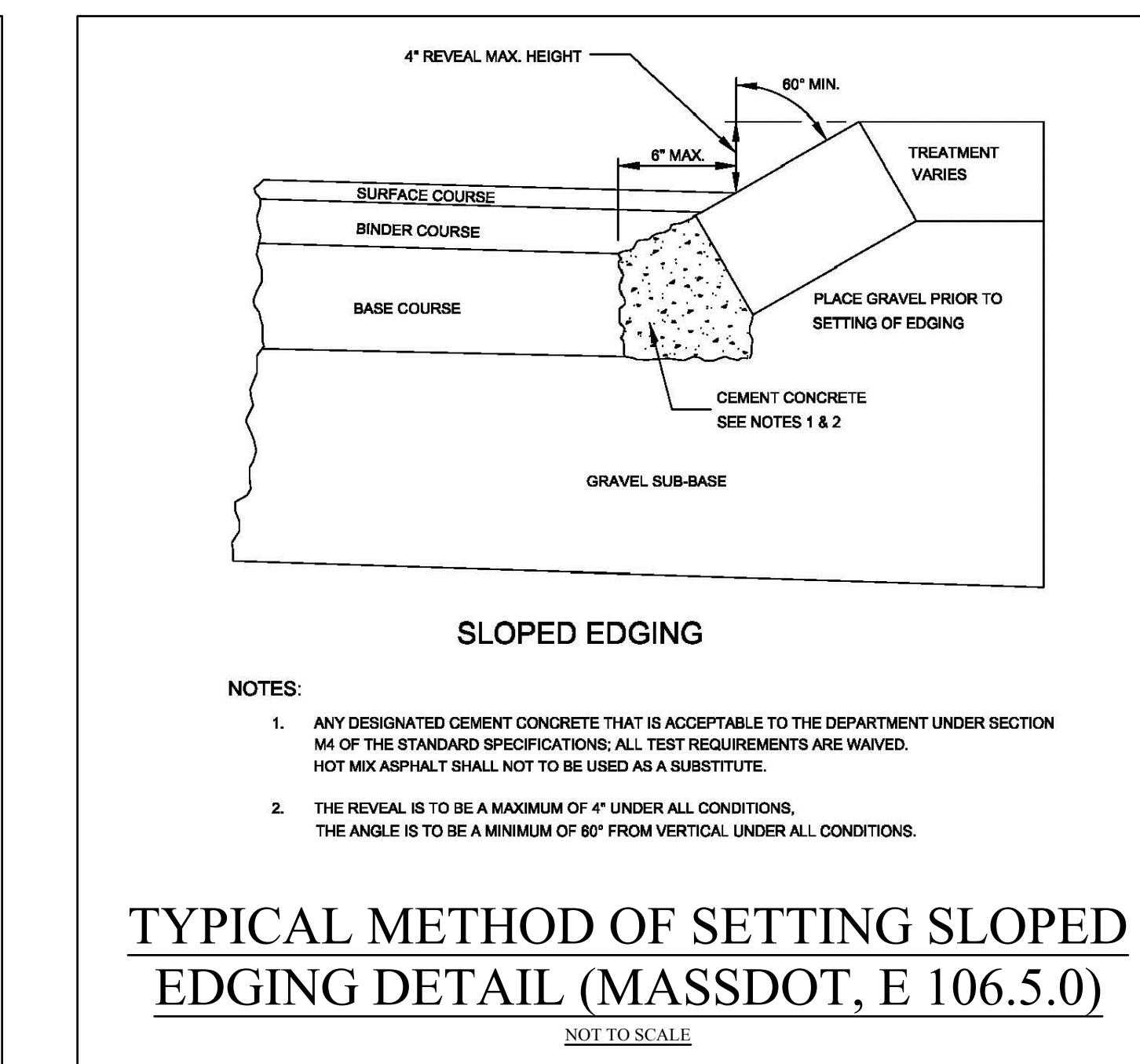
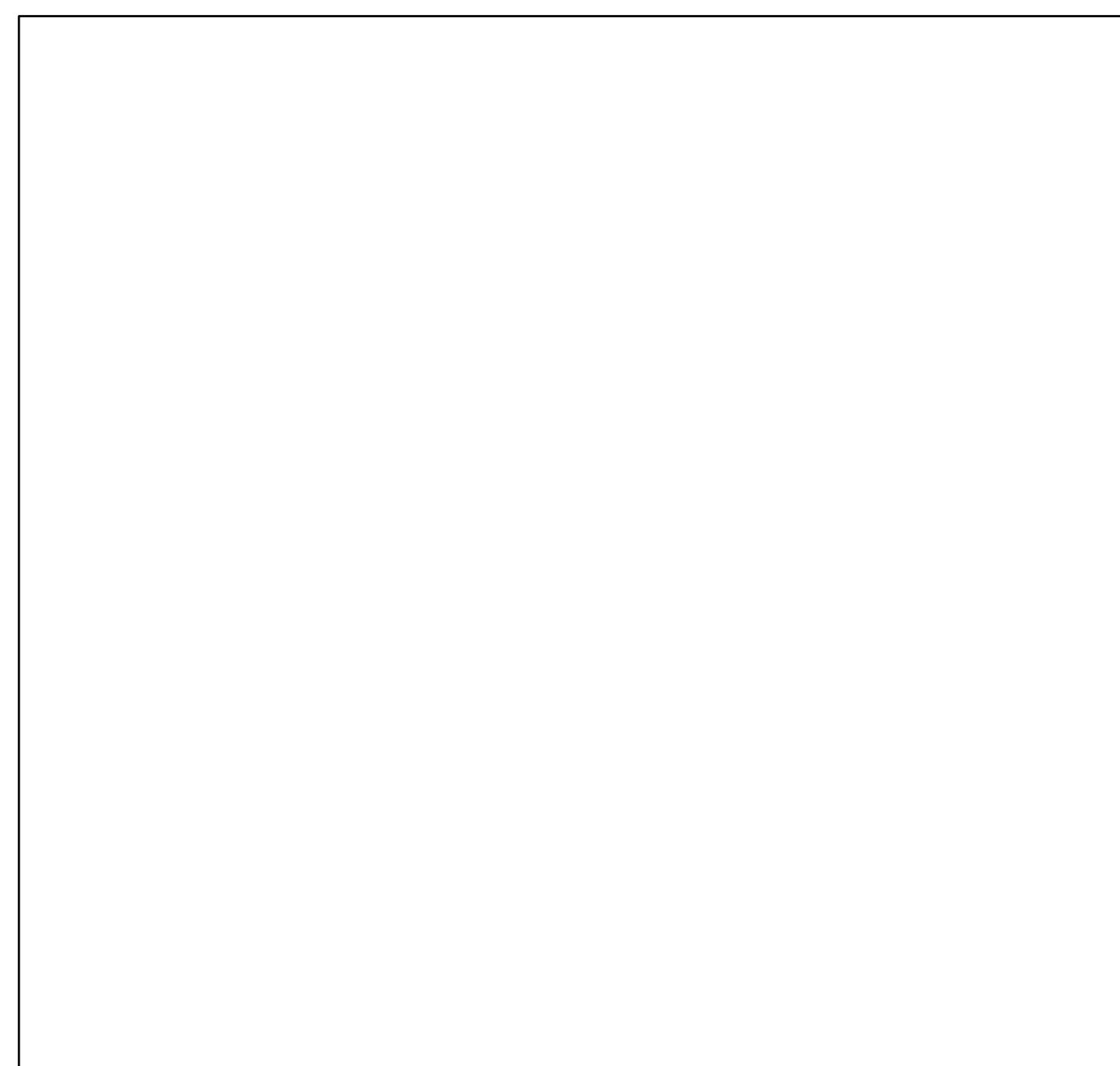
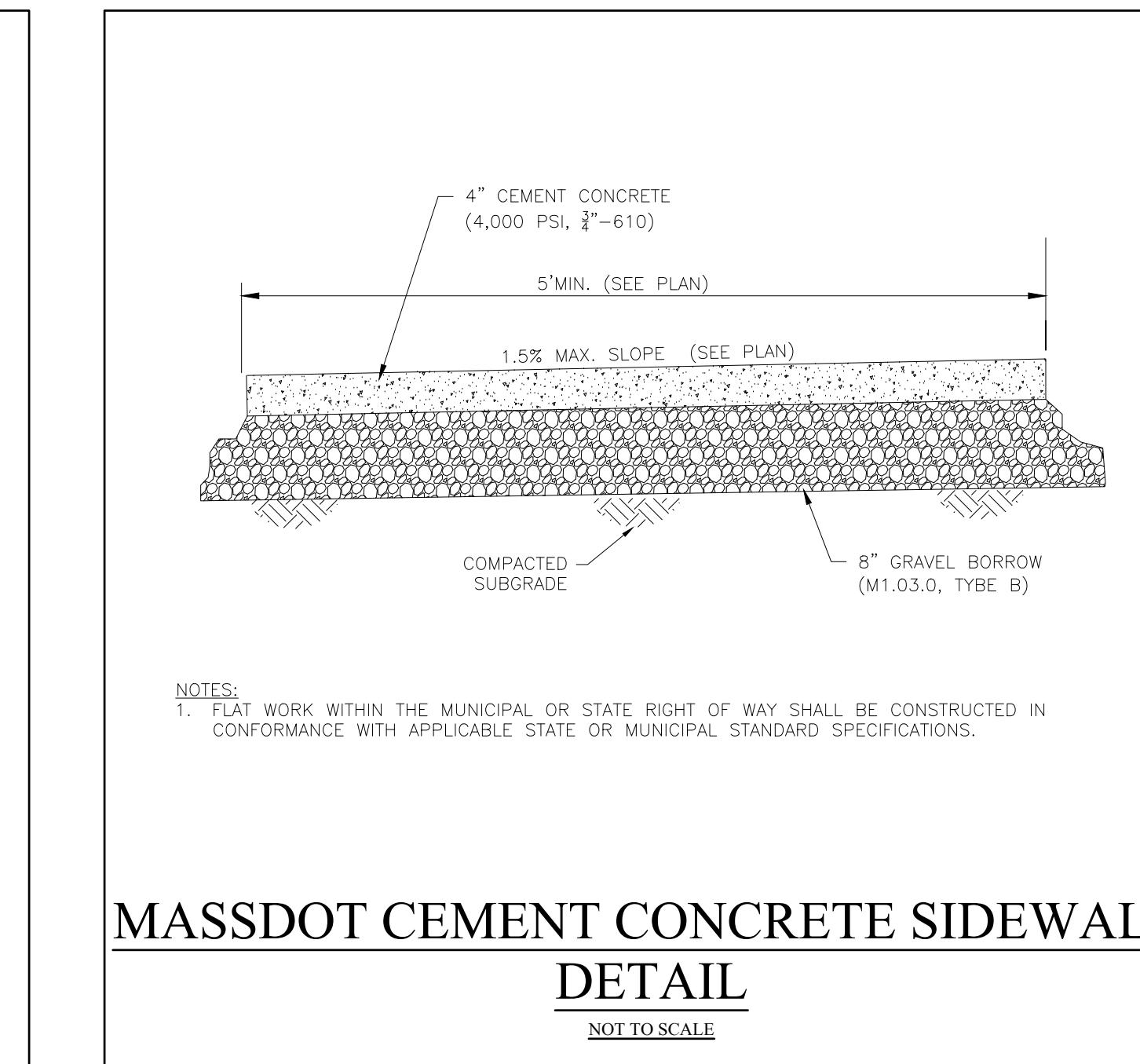
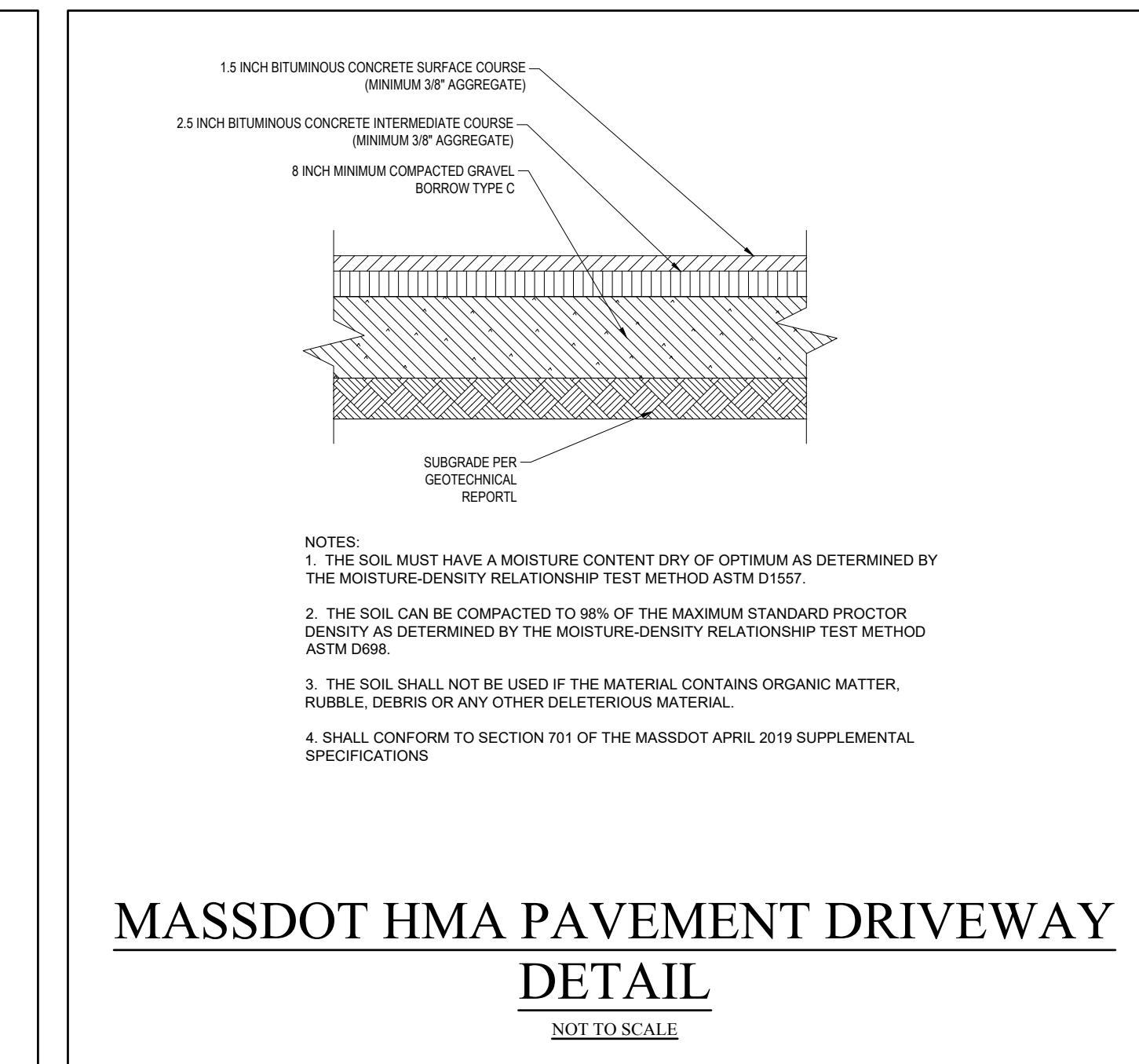
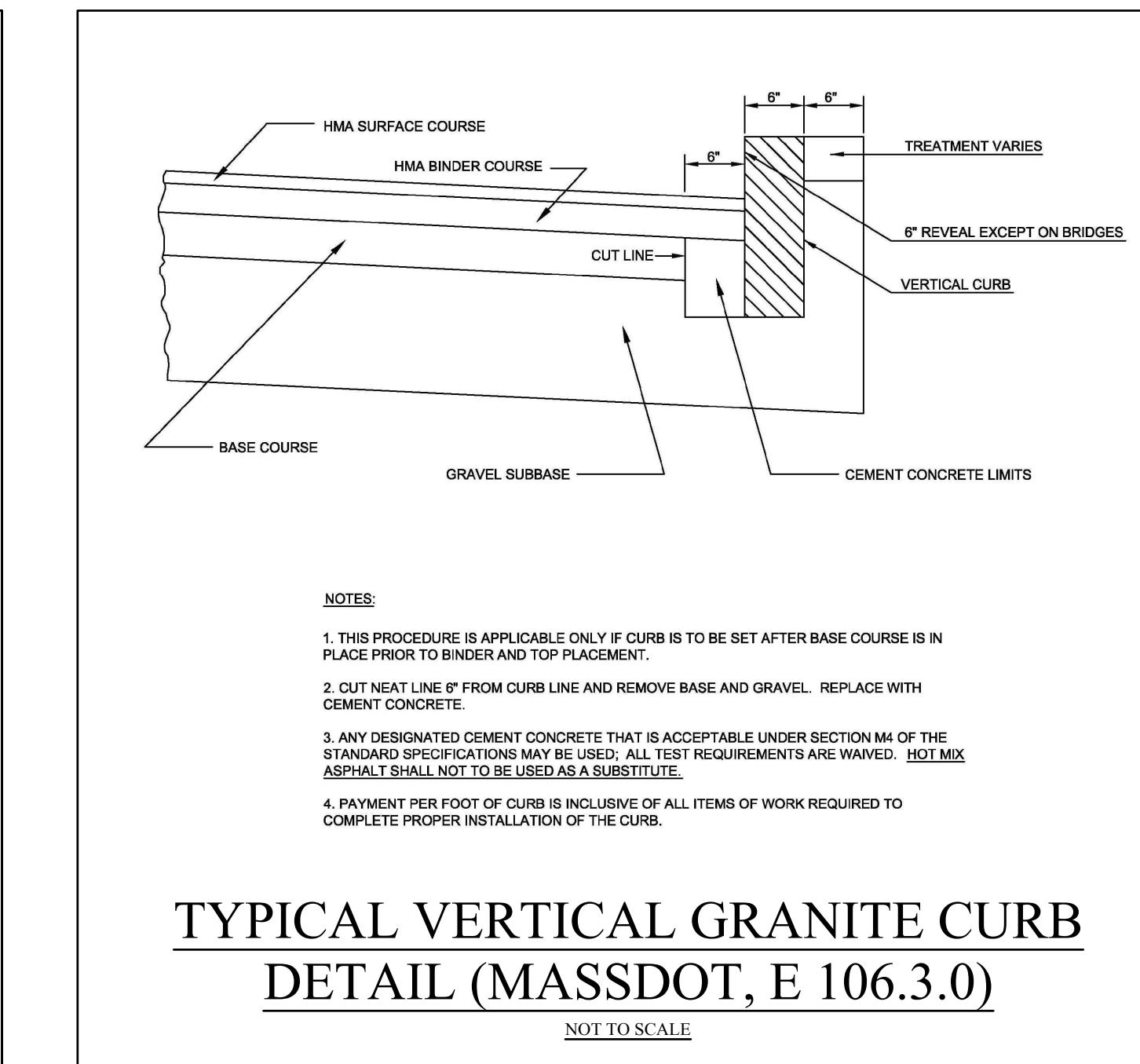
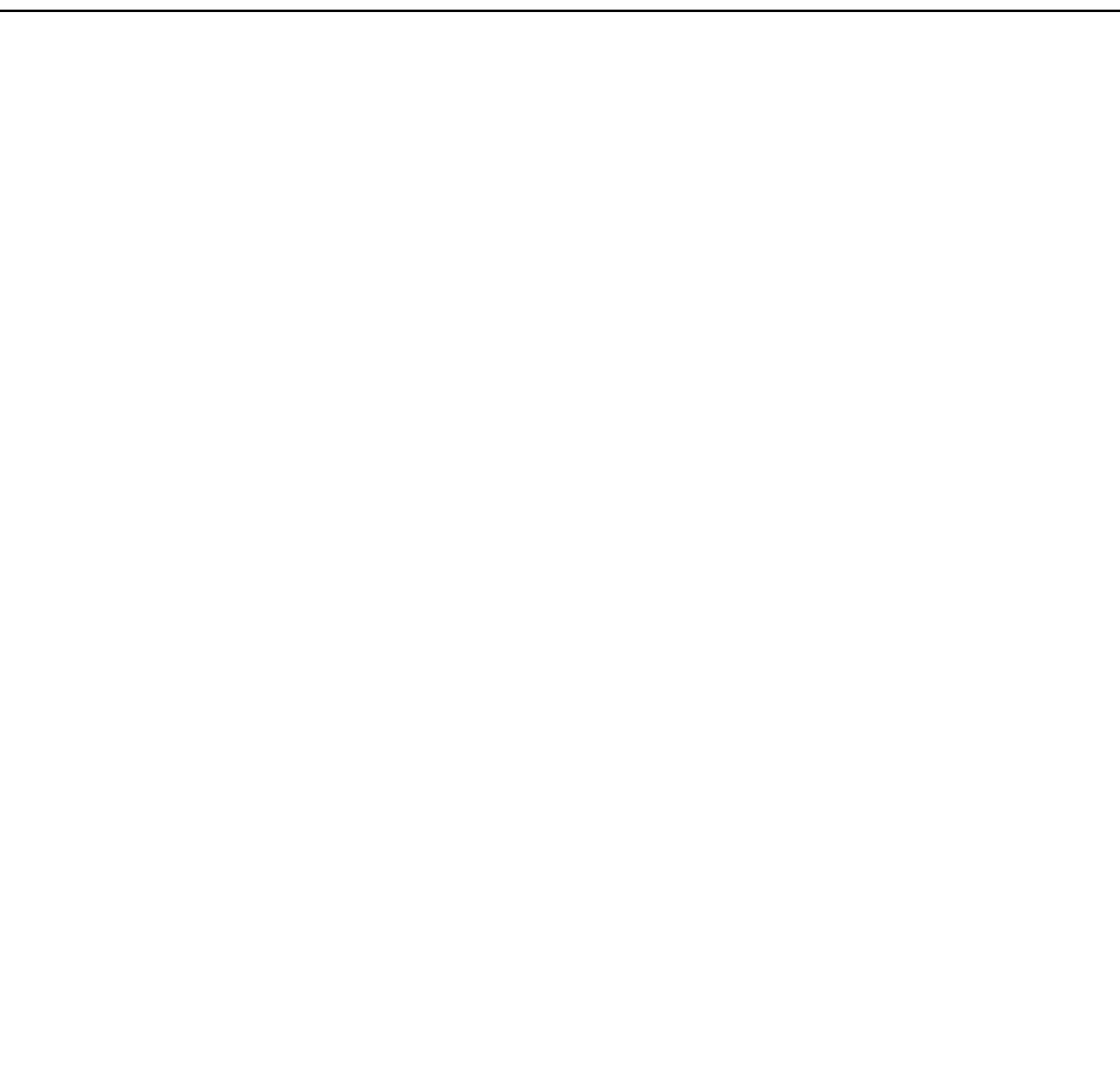
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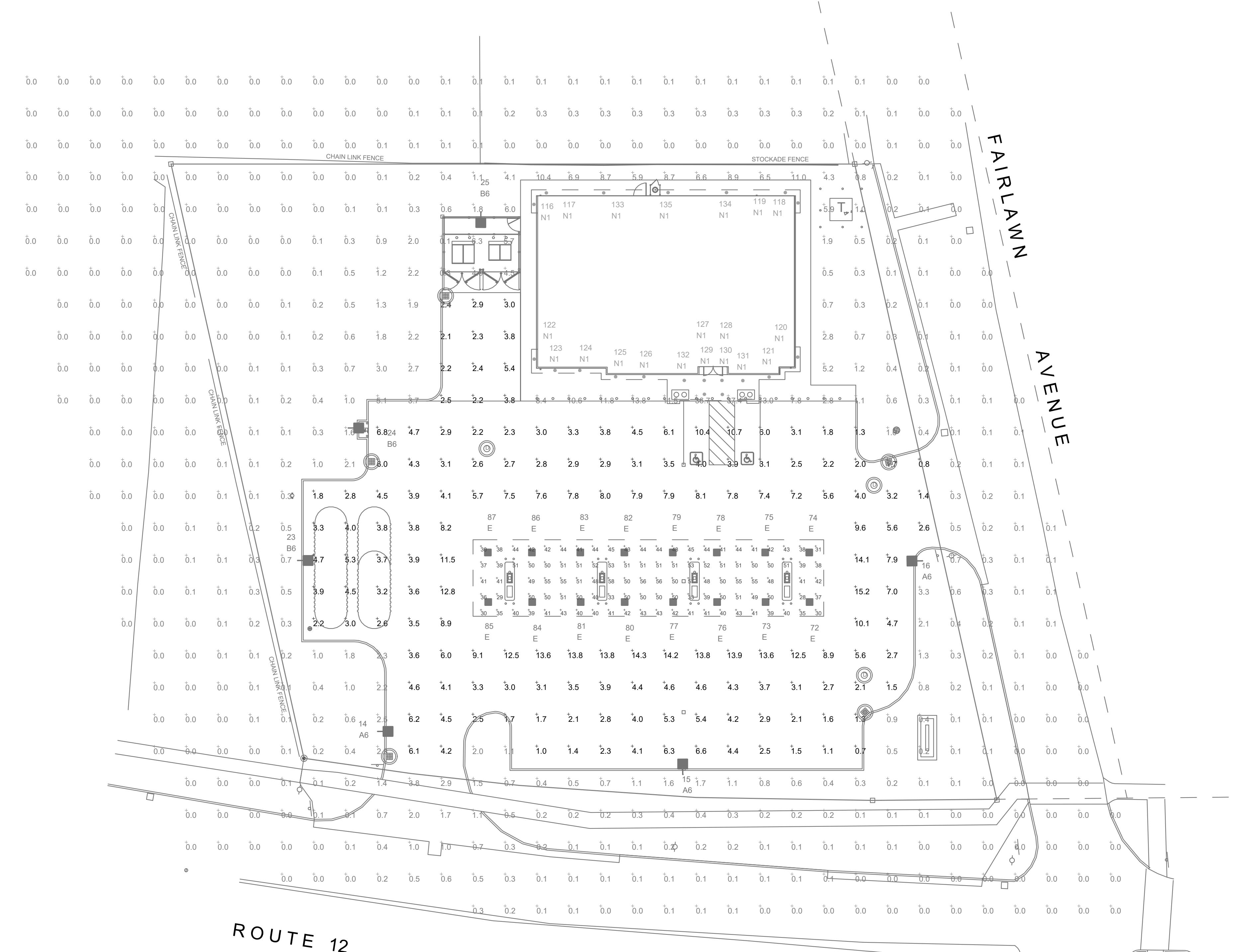
SHEET:

**CONSTRUCTION DETAILS**

**C009.6**

DATE: 09/06/2022





LUMINAIRE LOCATION SUMMARY		
LUM NO.	LABEL	MTG. HT.
14	A6	20
15	A6	20
16	A6	20
23	B6	20
24	B6	20
25	B6	20
72	E	14
73	E	14
74	E	14
75	E	14
76	E	14
77	E	14
78	E	14
79	E	14
80	E	14
81	E	14
82	E	14
83	E	14
84	E	14
85	E	14
86	E	14
87	E	14
116	N1	12
117	N1	12
118	N1	12
119	N1	12
120	N1	12
121	N1	12
122	N1	12
123	N1	12
124	N1	12
125	N1	12
126	N1	12
127	N1	12
128	N1	12
129	N1	12
130	N1	12
131	N1	12
132	N1	12
133	N1	12
134	N1	12
135	N1	12

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	44.69	58	28	1.60	2.07
PAVED AREA	4.95	15.2	0.7	7.07	21.71
UNDEFINED AREA	0.78	37.4	0.0	N.A.	N.A.

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ASSOCIATES  
1340 Kemper Meadow Dr, Forest Park, OH 45240  
513.571.9500 | [redleonard.com](http://redleonard.com)

REV.	BY	DATE
R1	TAS	11/10/22
.	.	.
.	.	.

## DESCRIPTION

1340 Kemper Meadow Dr, Forest Park, OH 45240  
513-574-9500 | redleonard.com

PROJECT NAME:  
**CUMBERLAND FARMS,  
OXFORD, MA**

DRAWING NUMBER:  
**RL-8298-S1-R1**

 Emberland  eG America

C010.0



## GENERAL NOTES

- ZONING INFORMATION OBTAINED FROM THE TOWN OF OXFORD ZONING ORDINANCE AS AMENDED THROUGH MAY 5, 2021.
- THE PROJECT SITE INCLUDES LOTS 1 & 14 ON MAP 33E OF THE TOWN OF OXFORD ASSESSOR'S MAPS AND TOTALS 0.97± ACRES.
- THE PROJECT LIES WITHIN THE VILLAGE BUSINESS DISTRICT (VB) AND WITHIN THE ZONE II AQUIFER PROTECTION AREA.
- MODIFICATIONS TO THIS PLAN MAY OCCUR AS UNFORESEEN CONDITIONS ARISE. ALL CHANGES SHALL BE APPROVED BY THE ENGINEER.
- ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS, AND PLANT SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF THE CONSTRUCTION.
- UST INSTALLATION SHALL COMPLY WITH OSHA POWER LINE SAFETY REQUIREMENT STANDARD 1926.1408 WITH REGARD TO EQUIPMENT CLEARANCE. UPON REVIEW, SPECIALTY EQUIPMENT MAY BE REQUIRED TO COMPLY.

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